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Inquiries may be directed to the staff at the Department of Planning, 2400 Washington Avenue, 2<sup>nd</sup> Floor, Newport News, Virginia 23607, or by calling (757) 926-8083.

# DESIGN GUIDELINES FOR THE PRESERVATION OF HISTORIC HILTON VILLAGE

## I. BACKGROUND

### A. ARCHITECTURAL THEME

Hilton Village is basically an early English village. The architect, Joseph D. Leland, II, stressed simplicity of design, highlighting the basically rectangular buildings with unique roof-lines and entrance treatments. Through such treatments, three basic themes emerge: English, Dutch Colonial, and Pre-Georgian.

By placing the various sizes and styles of homes throughout the Village, the "tract house" look was avoided. Variety is provided with what amounts to every little structural difference.

### B. VILLAGE HISTORY

Construction of Hilton Village was begun in 1918 to provide housing for Shipyard workers during World War I. It was designed to be more than "temporary housing" so common to the war, and the years since 1918 have proved its success.

Henry Vincent Hubbard was appointed town planner. He and Joseph D. Leland, III, the first architect, began working on a unique community which would provide the kind of housing that "families" could live in. Leland was later appointed Vice President of the Housing Bureau of the Department of Labor and was replaced by Francis Y. Joannes.

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Homer L. Ferguson, then president of the Shipyard, was instrumental in the building of the Village. He appeared before the U.S. Shipping Board in 1918 to present the Hilton Plan and request government funding. The funding was granted and Hilton Village became the first federally financed and planned community.

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On June 23, 1969, Hilton Village was listed on the National Register of Historic Places.

## II. HILTON VILLAGE ARCHITECTURAL REVIEW BOARD

The Hilton Village Architectural Review Board was created by the Newport News City Council in September 1972. Although the creation of the Historic District was accomplished in 1969, the Board itself had to await a 1972 amendment to the City Charter. Article 26, Part 2, as amended, of the Zoning Ordinance establishes the Historic District Regulation and created the Board. A copy of this ordinance can be found in Appendix III, on page 60.

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**To accomplish this purpose, the Board has been granted specific authority to:**

1. Prepare and maintain guidelines for standards to be applicable to land and exterior buildings within the Historic District.
2. Review and approve, where appropriate, plans for new buildings, additions and/or alterations, fences, signs, non-vegetative landscaping components whose height is twelve (12) inches above the yard elevation, painting, and off-street parking.

### **A. PROCEDURES FOR SUBMISSION OF PLANS**

1. All plans for new buildings, additions and alterations to existing buildings and outbuildings, tool or storage sheds, must be reviewed by the Board prior to issuance of any building permits or commencement of work and a Certificate of Appropriateness issued. The Board meets on the first Wednesday of each month. Applications along with the required submissions shall be submitted to staff **21** days prior to the meeting date. Incomplete or late applications will be delayed as they cannot be processed for the next meeting. The application must be signed by the owner. The owner or the authorized representative must be present at the time of the meeting to represent the application. ***If the authorized representative will attend the meeting in absence of the owner, than the application shall be accompanied by a letter of authorization at the time of submission.*** Applications for Certificates may be obtained from the Department of Planning, 2400 Washington Avenue, Newport News, Virginia 23607, (phone:(757) **926-8083**).
2. To facilitate work related to normal and routine exterior repairs and maintenance, Certificates may be issued by the City's Administrative Agent, Department of Planning, standards and procedures for those activities are outlined under specific headings for such activities.

3. Approval by the Board does not constitute the commencement of work on a project until a Certificate of Appropriateness is issued by staff and other pertinent permits are obtained, such as, a Building Permit, Sign Permit or Right-of-Way Permit. ***Please note that a Certificate is required prior to issuance of any other type of permit.***
4. Property owners or others contemplating any exterior work in the District are urged to use caution and to notify the Department of Planning of their intent to determine whether a Certificate is required.
5. In the event that an emergency situation arise that threatens "health or safety", contact the Staff at the Department of Planning (757) 926-8083. The Staff will then apprise the Board of the nature of the situation, and a decision will be made whether or not to hold an emergency meeting. If it is determined that a meeting is warranted, the Board will act expeditiously to resolve the situation.

Caution should be exercised when applying for a "Mechanical Permit" if the work involved requires an exterior alteration or cutting into the exterior fabric of the structure. When this circumstance exists, Board review must be sought.

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## **B. PRELIMINARY DESIGN REVIEWS**

Property owners or others contemplating work of a major nature may elect to appear informally before the Board to seek assistance and guidance in the appropriate design of their project. Rough sketches and drawings of the current structure and proposed alterations or additions may be used at this time in lieu of final drawings.

The purpose of this review process is to facilitate the handling of applications by allowing the Board and the applicant to discuss ideas for the most appropriate design of a project prior to the formal submission of detailed plans and a formal permit hearing.

*Preliminary Design Reviews may be scheduled by contacting the Department of Planning, 2400 Washington Avenue, 2<sup>nd</sup> floor, Newport News, Virginia, (757) 926-8083.*

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## C. REQUIRED SUBMISSIONS

Exhibits are required for consideration by the HVARB at the discretion of the Board or their staff. When uncertain about a proper submission, contact Staff at the Department of Planning.

### 1. For New Buildings or Additions, submit to the Department of Planning:

- a. A site plan (scale not less than 1" = 40') showing the building or addition, adjoining uses, pedestrian and vehicular circulation, and non-vegetative landscaping. Any materials used in exterior development should be indicated as to type, color, quantity, and scale.
- b. A floor plan and elevations (scale not less than 1/8" = 1' - 0") indicating the building, addition, adjoining uses, and the material from which they are constructed. Details will be provided to show material, type, color, and sizes of all windows, entrances, doors, fascias, cornices, dormers or other appurtenances.

Photographs may be used to show the relationship of buildings to be altered to adjacent or related structures.

### 2. For Improvements to Buildings

- a. Elevations (scale not less than 1/8" = 1' - 0") or a photograph showing adjoining or related uses and the area to be altered or improved. Indications will be given as to the location, type, color, and proportion for materials.
- b. Details (at a larger scale) will be provided to show materials, type, color, and sizes of all windows, entrances, doors, fascias, cornices, dormers or other appurtenances.
- c. When siding with stucco, if a sample is provided (*recommended*), refer to page 16, for a description of the Traditional Hilton Stucco (three-coat, stucco-system), to assist in the submission requirements.

### 3. For Site Improvements

- a. A site plan (scale not less than 1" = 40') indicating non-vegetative landscaping, lighting, permanently installed furniture or other exterior developments for adjoining uses, related uses, and the improvements to be considered.
- b. Details of exterior structures showing methods of installation, type and color of materials, and the appearance of the structure. (Photographs and manufacturer's illustration are acceptable as submissions).

#### 4. For Signs

- a. An illustration drawn to scale, showing letters, size, style, wording, materials and colors; and a site plan, drawn to scale, showing the proposed location of the sign.

#### 5. For Fencing

- a. A photograph, sample or scale drawing of a portion of the type fencing to be used.
- b. A sketch plan (scale not less than 1" = 40') indicating the limits of the area to be fenced and the adjoining properties.

Color charts, manufacturer's illustrations, and photographs are acceptable as exhibits of color, materials, fixtures, and other accessories. Plans and sketches should be on good grade paper, no larger than 24" x 36" and must be reproducible.

#### 6. For Driveways

- a. A site plan (scale not less than 1" = 100') showing the width of the apron at the curb of the street, length of apron from the curb to the sidewalk, or to its point of terminus, width of driveway runners and the distance between the runners, length of runners from the edge of the apron or sidewalk to its point of terminus in the side or rear yard, type of driveway material, and, if necessary, any other related exterior developments, such as, trees, adjoining uses, and, etc. ***In addition, upon approval of a certificate of appropriateness, a permit is required from the Department of Engineering for any work which occurs within or which abuts the City's Right-of-Way.***

#### 7. For Doors

- a. An illustration from a catalog or brochure which clearly shows the overall dimensions and style of the door.

#### 8. For Windows

- a. An illustration from a catalog or brochure with the overall dimensions of the window which clearly shows the grille pattern permanently attached on the exterior surface of the glass. The width and height of the muntins and the height of the sashes should be shown on the illustration.

## **D. Instructions for Completing Application**

The Review Board meets on the ***first Wednesday of each month***. Applications should be submitted to Staff 21 days prior to the meeting. Applications may be obtained ***from John Davis, staff of the H.V.A.R.B. or his representative, at the Department of Planning, 2400 Washington Avenue, Newport News, Virginia 23607, (phone:(757) 926-8083).***

Incomplete or late applications will be delayed as they cannot be processed for the next meeting. The application must be signed by the owner. ***If the authorized representative will attend the meeting in absence of the owner, then a letter of authorization shall be accompanied with the application at the time of submission.***

- a. Questions 1., 2., 2.A., and 2.B., concerns the address and owner of the property.
- b. Question 3., asks you to detail what is to be done. Be specific, use additional sheets if necessary.
- c. Question 4., concerns the use of the property after the requested activity. A change in use would be from residential to commercial or from a different kind of commercial use than what previously existed.
- d. Questions 5., 5.A., and 5.B., should be completed if the contractor who will do the work is known.
- e. Questions 6., 6.A., and 6.B., identifies the person who will be representing the application at the meeting. If the owner will not be present at the meeting, then a letter of authorization must accompany the application at the time of submission.
- f. Read the statement at the bottom, sign, and date the application.

You will be notified by mail of the date, time, and place of the hearing. ***The Review Board cannot consider the application unless someone is present to represent it at the hearing.***

Submission of the application and required exhibits constitutes a request to the Board to set a hearing date. Notice of the date will be sent to the applicant and adjacent property owners at least five (5) days prior to the hearing.

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## E. EXPIRATION OF CERTIFICATES

Unless otherwise noted on the Certificate, the Certificate shall expire one (1) year from the date of issue, or upon expiration of the building permit.

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## F. FACTORS CONSIDERED WHEN APPROVING CHANGES

1. The compliance of the proposed use with uses and accessory uses, including signs and special exceptions, as provided for in the Zoning Ordinance of the City of Newport News, Virginia.
2. The location of the building, addition or alteration as it relates to setbacks, side yards, building spacing, and lot sizes in the original pattern of Hilton Village.
3. The conformity of additions or alterations to the circulation network. Vehicular drives and pedestrian paths and walks should reflect the character of the original scheme. Attention will be given to materials, color, texture, and scale.
4. The size of an addition in relation to the original structure has a significant impact on the architectural symmetry and integrity of the original structure. The small lot sizes in the historic district and the scale of original structures create a unique setting. Inappropriately large additions may detract from the setting. Since the relationship of the addition to the original structure is a prime factor, as a general guideline, forty (40) percent of the structure's *original footprint (foundation)* should be the maximum allowable for all subsequent and proposed additions. In some situations, it may be more prudent to construct a multi-level addition, instead of a one-story addition. While multi-level additions are not discouraged, the Board recognizes that fitting and blending the roof of a multi-level addition into the slate of the original structure could be challenging given the various architectural styles that exist in the Village and the architectural style of the proposed addition. Therefore, the Board cautions homeowners when such a situation exists, and recommends that a detailed construction plan of this section of the addition is done as part of the process.

5. The composition of the building, addition or alteration as to the appropriateness of scale, detailing, shape, materials, roof form and pitch. Attention will be given to the conformity of building orientation, the treatment of windows, doors, porches, and other appurtenances.
6. Mailboxes, light fixtures, house numbers, and similar details are a matter of personal taste. Care should be taken to select items in scale with the Hilton setting. Style should reflect the historic character of the Village. Large, modern or unusually colored details may be incompatible with the style of Hilton Village.
7. The exterior developments, such as lighting, signs, non-vegetative landscaping, parking areas, street furniture, and fences. Materials, colors, textures, scale, form, and composition should reflect the character of the Village.
8. The blending of accessory uses with main structures. Attention will be given to garages, storage sheds, and other related uses and to the materials from which they are constructed.
9. The Review Board encourages owners of duplex houses to consult and cooperate with each other when accomplishing exterior work. Insuring that the two halves of a duplex complement each other protects the historic significance and property value.
10. The use of front yards, other than on paved driveways, for the parking of automobiles, trucks, trailers, boats, or recreational vehicles for parking is **specifically prohibited**. The special historic zoning regulations for Hilton Village state specifically:

**Off-Street Parking.** *This shall include the construction of new driveway entrances or enlargements of existing entrances as well as the use of front yards for off-street parking (continued from item 10 above).*

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## G. HOW TO OBTAIN A BUILDING PERMIT

After consideration and approval by the Hilton Village Architectural Review Board, notice will be sent to the Department of Codes Compliance. Notice of the Board's decision will also be sent to the applicant. Such notice will state specifically any restrictions, modifications or conditions to the request as submitted and also will be reflected in the building permit.

**"No building permit, sign permit, or other city permit shall be issued nor shall any individual undertake any of the activities listed until the Architectural Review Board...shall have certified that such activity is in accordance with Section 45-3137 of the Zoning Ordinance."**

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## H. APPEAL OF A REVIEW BOARD DECISION

Appeals of a decision of the Hilton Village Architectural Review Board must be made within thirty (30) days of such decision. Appeal is made to the Newport News City Council. An application fee is required.

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## I. ENFORCEMENT

The Hilton Village Historic District is an overlay district of the Zoning Ordinance. The Zoning Administrator located in the Department of Codes Compliance enforces the rules and regulations of the Zoning Ordinance, including those of the Hilton Village District. The Zoning Administrator also enforces the decisions of the Review Board.

**Violations of the Historic District regulations weakens the historical significance of the entire community. It is a distinct responsibility of each resident of Hilton Village to assist in the preservation of Hilton's unique historical value. It is requested that violations be reported to the Zoning Inspector (phone: (757) 926-8861) as soon as such violations are observed.**

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### III. PROJECT SPECIFICATIONS

#### A. BACKGROUND

The following section details the specifications and procedures involved in obtaining a Certificate of Appropriateness for projects of a normal, routine or maintenance nature. If there are questions regarding the applicability of a specific project, these should be addressed to **John Davis, staff of the HVARB or his representative**, Department of Planning, 2400 Washington Avenue, Newport News, Virginia 23607 (phone: (757) 926-8083).

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#### B. MAINTENANCE OR SMALL AREA REPAIRS

Ordinary repairs to buildings may be made without application for a Certificate of Appropriateness, but such repairs shall not include the cutting away of any wall, partition or portion thereof, the removal or cutting of any structural beam or bearing support, the removal or change of any required means of egress, or rearrangement of parts of a building affecting the exit requirement.

The following items are judged to be small area repairs and do not require a Certificate of Appropriateness. Other activities, detailed herein, under certain circumstances may also not require a certificate. **Caution should be shown in determining if work is routine or is an alteration.** In general, maintenance work may not alter the structure in shape, architectural detail or color.

**Small area repairs are:**

1. Repairing a small area of roof, not exceeding **twenty (20) square feet**, with the same material and approximate color of material as currently on the roof.
2. Replacing broken windowpanes.
3. Replacing deteriorated or broken components of a fence.
4. Repairing a small section of exterior wall with the same materials, or if applicable, size and color of materials as currently on the structure. Area involved shall not exceed **twenty (20) square feet** of wall surface per exterior wall.
5. Repair of screens, including windows and doors.

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## C. LANDSCAPING

This includes any landscaping or yard decorations utilizing structural or non-vegetative components when such landscaping components are twelve (12) inches above the average yard elevation. Any item not specifically exempted shall be submitted to the Board for consideration.

### 1. Items specifically exempted are:

- a. Signs as specifically exempted by the Zoning Ordinance.
- b. Recreational equipment and lawn equipment, such as chairs, grills, etc., when such equipment is not permanently installed and a building permit is not required for installation (*with the exception of street furniture placed outdoors in the commercial district which requires Board approval in accordance with Section 38 - 3.2 of the Street and Sidewalk Ordinance - See Appendix IV*).
- c. Any plant material.

### 2. The following items are not allowed or exempted and require Board review:

- a. Satellite dishes
- b. In-ground swimming pools
- c. Above-ground swimming pools are not allowed.
- d. Retaining walls
- e. Recurrent, intermittent, or permanent outside storage of retail merchandise, goods or materials is not allowed in the commercial district.

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## **D. GENERAL GUIDELINES FOR CONSIDERATION OF ADDITIONS, NEW BUILDINGS, USES AND MODIFICATIONS**

### **Preface**

In designing Hilton Village, Edward Leland, the architect, and Henry Vincent Hubbard, the community planner, conceived more than a typical residential tract development. Hilton Village was planned and originally constructed as a totally planned community with each of the components of the plan--homes, churches, streets, and landscaping--relating to the other components and to the plan as a whole.

### **1. Specifics of that design relationship are shown as follows:**

- a. The placement of the four churches, two on either side and at each end of the Main Street, to serve as a terminus and, to some degree, as a buffer for the residential areas.
- b. Placement of the two row houses, since demolished, on either side of Main Street at Warwick Boulevard, to also serve as a terminus or residential enclosure, separating the main residential district from the commercial district.
- c. Relating the mass and site of the structures to human scale was accomplished in a variety of methods. Examples of this relationship are:
  - (1) Placement of single family structures on the corners to reduce the scale of the duplex units and row houses placed in the center of the blocks;
  - (2) The use of multi-pane windows throughout the original design; and
  - (3) The steep roof pitches on the original buildings.
- d. The front setbacks of the duplexes in the residential district to create the park-like atmosphere of the green areas.

## 2. Policy

While many of the original elements of the plan have been lost or modified over the years, it is the responsibility of the Board and also of all persons associated with the Village to recognize that in order to best preserve the historical aspects of Hilton Village, proposed changes, additions, and modifications must relate to the original design and plan of the Village in terms of use, scale, and placement.

### a. It shall be the policy of this Board to:

- (1) Encourage projects which strengthen the distinguishing character and qualities of the original Hilton Village design.
- (2) Allow modifications, additions, and changes provided those proposals are in keeping with the original or historical design of the Village and compatible with the design and architectural detail of original abutting and adjacent structures.

### b. In applying that policy to projects, the HVARB will:

- (1) Treat structures, whether single family, duplex, row houses, or structure erected subsequent to the original construction of the Village as a whole, based on its historic design.
- (2) Require that projects relate to the visual integrity of each building as a whole and to the original design plan of the Village.
- (3) Require that projects relate to the historic design and detail in:
  - (a) Building heights,
  - (b) Scale,
  - (c) Orientation, spacing, site coverage of buildings,
  - (d) Facade proportions and window patterns,
  - (e) Size, shape and proportions of entrances and porch projections, and
  - (f) Materials, texture, and color.

### 3. General Design

- a. The integrity of the facades, their overall composition, and balance shall be maintained. The splitting of a historic facade into two visually unrelated halves by the addition of a permanent canopy should be avoided. Likewise all applications for canopies, entrances, and storefront treatments should be compatible with the original facade intentions and maintain the visual integrity of each structure as a whole.
- b. While planning exterior improvements, designs for alterations, additions, and new buildings will be encouraged when such alterations, additions, and new construction is compatible with the size, scale, colors, materials, character, and the architecture of the historic district.
- c. The materials, colors, textures, scale, form and composition of the exterior developments, such as lighting, signs, non-vegetative landscaping, parking areas, street furniture, and fences, should reflect the character of the Village.
- d. It should be emphasized that some proposals could be totally out of keeping with the architecture and design of the Village. However, the vast majority of projects or proposals are in keeping with the original Village plan or historic uses, but may require modification in keeping with the architectural design and detail of original structures.
- e. The symmetry of duplexes is of major importance in order to maintain the original character of the village. When planning a project both sides of the duplex should match. Consequently, the Board encourages owners of duplexes to consult with each other concerning a color scheme prior to undertaking a project.

Detailed drawings of architectural features may be found in Appendix I, on page 47.

### 4. Specific Criteria to be Applied in the Design and Consideration of a Project

#### a. Scale

- (1) Proposed projects shall relate in size or mass to the size or mass of abutting or adjacent structures.

- (2) While the design of an addition and its relationship to the original structure is also important, as a general guideline the size of all proposed and subsequent additions should not exceed 40 percent of the size of the original gross floor area. Decks and porches shall be treated as unenclosed living space and subject to the thirty percent guideline provided; however, that the prime factor in determining whether that percentage guideline shall be applied will be the height of the proposed deck or porch to the mean ground elevation.

**b. Materials**

- (1) Deteriorated architectural features shall be repaired rather than replaced, wherever possible.
- (2) Replacement of missing architectural features and details should be based on accurate duplications of features and details.
- (3) Exterior wall materials or proposed additions and modifications shall match the composition, color, and texture of the exterior wall material of the abutting original structure.
- (4) Exterior wall materials covered by the construction of an addition should remain intact and in its original state, except for the area that is necessary to provide access by means of a doorway. Consideration will be given to utilize windows for access where they exist. Area of cutting will be limited to the standards set forth by the building codes for interior doors.
- (5) **Traditional Hilton Stucco**
  - (a) **Traditional Hilton Stucco** material shall be matched when performing repairs or replacing stucco on the original building. The stucco shall be a three-coat system, **containing a scratch coat, brown coat, and a finish coat resulting in a stone finish** which shall match the original stucco in composition, color and texture. While making repairs the finish-coat shall be feathered-edged into the existing stucco so as not to be able to discern the difference in appearance.
  - (b) **Traditional Hilton Stucco** material may be used over new construction on additions and accessory buildings where the original building has stucco exterior wall treatment.
- (6) The Board may consider the use of concrete-lap-siding on addition and accessory structures as long as it matches the texture and the reveal of the existing siding.

**c. Size and Placement of Doors and Windows**

- (1) The size and placement of exterior doors shall relate to the size and placement on original structures wherever possible.
- (2) Windows: The size, style, and placement of windows shall match the size, style, and placement on original structures. Consideration will be given on the matter of window sizes in the case of new uses for a structure in the commercial district. The use of large single pane windows in the commercial district, such as storefront plate glass will not be allowed.

**5. Architectural details:**

- a. Additions should be **stepped-in six-inches** at the wall and roof line.
- b. Rake boards and trim boards should match the existing adjoining structure.
- c. The cornice detail should match that of the existing structure.
- d. Where desired or deemed necessary a wooden vertical styled louver should be used.
- e. **Roof forms:** The pitch of the roof should closely match that of the existing structure.
- f. **Foundation treatment:** Footings and exposed foundations should relate to the footing and foundation treatment on original structures; therefore:
  - a. The height of the foundation should match the height of the existing structure; and
  - b. The foundation should be skim-coated to match the smooth surface of the original foundation.
- g. **Window-well:** Consideration will be given to the construction of a window-well when deemed necessary:
  - (1) The height of the roof pitch is critical to the symmetrical blending of architectural details that are compatible to the form and style of the original structure. In circumstances where obtaining the appropriate pitch is hampered by the location of an existing window; the Board may recommend the construction of a window-well.

h. **Cabinet top and window sill relationship:**

- (1) In circumstances where a counter top extends above the window sill; the Board recommends modification to the interior, instead of a modification to the exterior to alter or shorten the length of the existing window.

**6. Accessory Buildings**

Outbuildings will be reviewed with the same consideration as given to additions. Attention will be given to architectural details; such as, scale, materials, colors, and roof forms.

- a. No buildings should be constructed without a permanent foundation.
- b. Aluminum or vinyl siding shall not be allowed.
- c. Exterior grade plywood may be used with 1.5" battens equally spaced 8 to 16 inches apart.
- d. The fascia boards and rake boards along the sides of the structure should be a 1" x 6" board.
- e. All trim boards should match those on the existing house, consideration will be given to the location of doors and windows.
- f. The Village is characterized by steeply-pitched roof forms, in order to keep the symmetry of the architectural details, outbuildings should be constructed with similar steep slope roofs.
- g. Attention will be given to the size of the structure in proportion to the size of the lot and existing exterior appurtenances. Inappropriately large structures are discouraged.
- h.

In circumstances where there is an existing **foundation / concrete footing**, accessory buildings may be reconstructed within the **original footprint** of the prior or existing accessory building.

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**E. SPECIFIC PROJECTS**

Included in this section are projects of a nature routine to the District. Under most conditions, these require application for a Certificate of Appropriateness. Dependent upon the project specifications, the Certificate may be issued either by the Administrative Agent under Administrative Review or by the Board. Those projects are:

## 1. Awnings

Awnings are character-defining features that contribute to the overall appearance and visual impact of a building on the streetscape. Consequently, the choice of colors and the design of awnings are critical to the architectural details of a building when attempting to balance the mass of a structure by the installation of an awning. This is particularly even more important when an awning is installed on the façade of a building. Therefore, the following standards should be applied on a project of this nature.

A Certificate must be approved prior to installation of any awning. A certificate may be applied for as follows:

a. **Administrative Review:** Design criteria for consideration of a project of this type in the **residential area only** are:

- (1) Awning material may be either canvas or synthetic fabric;
- (2) Colors used closely match those permitted for paints;
- (3) Installation is on windows only; and
- (4) Installation does not alter window, eave or fascia treatment other than that which is necessary for the installation of the hardware.

b. **Board Review:** When considering requests for awnings in the **commercial district**, the following consideration will be given.

Awnings are character-defining features that contribute to the overall appearance and visual impact of a building on the streetscape. Consequently, the choice of colors and the design of awnings are critical to the architectural details of a building when attempting to balance the mass of a structure by the installation of an awning. This is particularly even more important when an awning is installed on the façade of a building. Therefore, the following standards should be applied on a project of this nature.

- (1) Awnings should complement the building facade and should not overwhelm the building or conflict with the streetscape.
- (2) On small two-story buildings with one-story porches, awnings and canopies which are attached to buildings need to be small and of limited projection (one to three feet) if they are to avoid overwhelming the facades.

- (3) Canvas awnings are allowed, and should have side panels.
- (4) Vinyl and plastic awnings are not allowed.
- (5) Fabric awnings and canopies are appropriate on buildings where they can be attached to the primary facade of the building, rather than the edge of the roof.
- (6) Canopies and awnings should not be used to extend the roof area of the primary roof of the building because this will interfere with the visual unity of the townhouse row-buildings and make the display windows dark and hard to see.
- (7) The Board may allow larger canopies on two-story buildings where the scale of the building can accommodate a larger forward projection.
- (8) Backlit awnings or lighting systems designed to up-light awnings are not allowed.
- (9) Colors shall be limited to two, excluding logos and lettering.
- (10) Fabric patterns shall be muted and compatible with the building and sign color scheme with colors from the Martin Senour "Williamsburg" exterior paint colors. The use of primary, neon, and day glow colors are not permitted.
- (11) Sizes and styles of awnings should be uniformed throughout the site and should be compatible with the building and the sign color schemes.
- (12) Coordinated awning design with consistent heights and compatible awning colors is recommended for multiple tenant buildings.

Reference: The *A Hilton Village Commercial Area Master Plan*, page 12, excerpt from paragraph on A Retail Areas - See Appendix 1. (Copies available in the Department of Planning).

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## 2. Doors, exterior wood or steel

Replacement doors requiring no modification to door or entrance way treatment may be installed providing the installation compiles with the following:

a. **Administrative Review:** Design criteria for consideration of a project of this type in the **residential area only** are:

- (1) No previously unenclosed space or porch will be enclosed as a result, and installation does not require the removal of trim;
- (2) Door type is in accordance with types shown in Appendix I, on page 53; and
- (3) Colors shall conform with guidelines provisions.

Any project not meeting the above specifications must be submitted to the Board for consideration.

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## 3. Doors storm or screen

New or replacement storm doors requiring no modification to door or entrance way treatment may be installed provided said installation compiles with the following:

a. **Administrative Review:** Design criteria for consideration of a project of this type in the **residential area only** are:

- (1) Door type is in accordance with those shown in Appendix I, on page 53;
- (2) Installation does not require the removal of trim other than for the placement of hinges and hardware;
- (3) No previously enclosed space or porch will be enclosed as a result; and
- (4) If painted, the color shall conform with the guideline's provisions.

Any project not meeting the above qualifications must be submitted to the Board for consideration.

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#### 4. Driveways and Walkways

Projects involving paving or replacing of driveway entrances within the City right-of-way require special permits from the Department of Engineering and also require a Certificate of Appropriateness. A Certificate must be obtained prior to the issuance of any right-of-way permit. Other paving projects noted below may require a Certificate. A Certificate may be applied for as follows:

a. **Board Review:** A Certificate may be issued if the project meets the following qualifications:

- (1) Submission of plans or drawings showing the location on the property of the project, its location in relationship to the main and accessory structures and to the City's right-of-way.
- (2) Walkways in the front yard shall be straight and not curved in order to maintain the original appearance of the sidewalks.
- (3) Material for walkways in the front yard shall be limited to Buff Concrete.
- (4) Materials for walkways in the rear yard to be limited to:
  - (a) Brick (suggested types and examples of patterns are found in Appendix I, on page 57),
  - (b) Slate,
  - (c) Flagstone, and
  - (d) Interlocking Brick Pavers
- (5) Walkway width cannot exceed forty-two (42) inches.
- (6) Materials for driveways shall be limited to:
  - (a) Concrete having an exposed aggregate finish which, for the purposes of this article, is defined as the process whereby the cement is scrubbed or washed away from a concrete mixture containing a stone aggregate of not less than 1/4" or more than 1-1/2" average diameter so that the aggregate is exposed to view when the mixture is hardened, and
  - (b) Buff Concrete

- (7) Parallel strips shall be no more than 24" in width, having no less than 24" of unpaved surface separating the strips. A full width pour is permitted only in the area extending from the curb line to the sidewalk or twelve (12) feet, whichever is less, and its width shall not exceed twelve (12) feet.
    - (a) No monolithic paving materials shall be used around paved parallel strips.
    - (b) Only unit pavers such as brick or Interlocking Brick Pavers may be used as an acceptable infill.
    - (c) No more than 24" of infilling material may be used from the outside edge of driveway runners.
    - (d) No infilling materials may be used in the City's right-of-way.
    - (e) Driveway runners shall extend *beyond the front plane of the house* sufficiently within the side yard to provide adequate parking for at least *one full-length parking space*.
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## 5. Fences

A Certificate is required before installation of any new fences or section of fencing unless work is confined to repair or replacement of components of existing wood or chain link fencing. A Certificate may be applied for as follows:

**a. Administrative Review:** A Certificate may be issued ***only in the residential district*** if the project meets the following qualifications:

- (1) Fence type is one of the following:
  - (a) Picket,
  - (b) Stockade,
  - (c) Board and Batten
  - (d) Shadow box,
  - (e) Scallop Style Fence

Examples of fence type and yard definition are shown in Appendix I, on pages 57 and 58.

- (2) Maximum average height of the fence above mean ground level does not exceed forty-eight (48) inches in side or rear yard.

- (3) Fence must be of wood construction, synthetic material is not allowed.
- (4) If the installation of a fence involves a corner lot, special setback requirements must be maintained as prescribed by the City's Zoning Ordinance, (Section 45-280), and a permit shall be required from the Department of Codes Compliance.

**b. Board Review:** Any project not meeting the above qualifications must be submitted to the Board for consideration. Design criteria to be considered in a project of this nature are:

- (1) Fencing should not exceed six (6) feet in average height above mean ground level;
- (2) The height of the fence and its relationship to the sidewalk and street levels;
- (3) Fences shall be installed with the finished side facing the adjacent property;
- (4) Fence designs which are deemed appropriate for installation may be found on pages 57 and 58, in Appendix I; and
- (5) Fence must be of wood construction, synthetic material is not allowed.
- (6) If the installation of a fence involves a corner lot, special setback requirements must be maintained as prescribed by the City's Zoning Ordinance, (Section 45-280), and a permit shall be required from the Department of Codes Compliance.

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## 6. Gutters

Original gutters were of the half-round style and their use is required whenever gutters are replaced.

**a. Board Review:** New or replacement gutters may be used if the project meets the following qualifications.

1. The gutter style shall be half round.
2. The Board recommends half-round gutters on additions; however, non-half round style gutters may be used.
3. Installation does not involve the removal of fascia or trim.

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## 7. Paint

A Certificate is required before performing any exterior painting in the District. Display charts of the Approved Color List are maintained at the Department of Planning and the Hilton Main Street Library. \*Please note - Paint manufacturers are listed for reference only. Paint numbers are provided for each color so that the paint colors can be mixed to match the colors on the approved list.

A Certificate may be applied for as follows:

- a. **Administrative Review:** A Certificate may be granted *in the residential district only* under the following conditions.
  - (1) An approved color from a specified manufacturer is used or the color chip from any other source closely matches a color on the Approved Color List.
  - (2) No more than three (3) colors are to be used on a structure and as follows:
    - (a) No more than one (1) color on exterior walls, and that color or its match must be from the portion of the Approved Color List specified for that use; and
    - (b) No more than two (2) colors or their match on trim must be from the portion of the Approved Color List specified for the use.
  - (3) Colors of exterior walls and trim should match on both sides of the duplex.
- b. **Board Reviews:** Any project not meeting the qualifications established above must be submitted to the Board for consideration.
- c. **Approved Color List:** The following colors are approved for use in the District. The manufacturers are specified solely for the purpose of identifying shades or colors. Paint from any other manufacturer may be substituted provided the color closely matches that on the Approved Color List. Caution is advised as colors from different manufacturers having identical names may not be identical in color.

**(1) Colors approved for use on exterior walls or trim:**

White (any manufacturer)

**MARTIN SENOUR PAINTS WILLIAMSBURG HISTORIC COLORS**

Outside White PKG.	George Pitt House Bisque W1252	Blue Bell Tavern Gray Green W1249
Braken Tenement Bisque W81-1064	James Moir Shop Fawn W82-1080	William Bryd III House Ivory W81-1073
Brush-Everard Gold W83-1067	Ludwell Tenement Gold W83-1078	Grissell Hay Lodging House Gold W83-1060
George Pitt House Caramel W84-1087	Nicolson Store Taupe W83-1082	Raleigh Tavern Sorrel W83-1091
Ludwell Tenement Sage W82-1079	Barraud House Green W83-1062	Market Square Tavern Shell W81-0330
Governor=s Palace Tan W82-1072	Holt=s Storehouse Gray W83-1074	Grissell Hay Lodging House Green W81-1061
Peyton Randolph Gray W82-1086	King=s Arms Tavern Gray W83-1076	Purdue House Gray Slate W83-1090
Market Square Tavern W82-0270	Bracken Tenement Blue Slate W83-1065	

**SHERWIN WILLIAMS**

Palisade SW 2008	Tuscan Beige SW 2430	Sandstone SW 2009
Coast Point SW 2053	Stormy Night SW 2100	Ligonier Tan SW 2191
Gray Ashlar SW 2002	Barcelona Beige SW 2058	Colony Buff SW 2207

## **SINCE 1806 VALSPAR**

Rococo  
92-4B

YellowOak Buff  
(G) 323-1

Blue Stone  
(E.A.) 772-4

Colonial Sage  
(R.R.) 92-1A

Ashlar Gray  
(E.A.) 777-2

Shale  
(R.R.) 805-2

Silver Gray  
(R.R.) 94-39B

## **BEHR PREMIUM PLUS**

Ultra Pure White  
4050

Minuteman  
PEC-1

Charles River  
PEC-15

Burlap  
PEC-42

Creamer  
PEC-34

Twilight Cream  
PEC-47

Blanca  
PEC-23

## **(2) Colors approved for use on exterior door and trim only:**

White (any manufacturer)

## **MARTIN SENOUR PAINTS WILLIAMSBURG HISTORIC COLORS**

Benjamin Powell  
House Green  
W85-1089

Burdett=s Ordinary  
Black Green  
W85-0625

Nicolson Store Red  
W86-1081

George Pitt  
House Green  
W84-1088

Palmer House  
Kitchen Brown  
W85-1085

Livingston Kitchen  
Green W84-1077

William Finnie  
House Brown  
W85-0225

Chowning=s  
Tavern BrownHouse  
W85-1070

George Davenport  
House Green  
W85-1071

Robert Carter  
Tobacco  
W84-0230

Bryan House  
Chocolate  
W85-1085

Market Square  
Tavern Dark Green  
W85-0620

Palmer House  
Green W84-1084

Palace Arms  
Red W1083

James Geddy  
Green W84-1075

## **SHERWIN WILLIAMS**

Jogging Path SW 2087	Wild Rose SW 2292	Wall Street SW 2125
Carriage SW 2294	Fjord SW 2250	Cumulus SW 2277
Rocky Coast SW 2001	Oriel Gray SW 2095	Herbivore SW 2230
Foothills SW 2033	Mineral Grey SW 2740	Zeus SW 2085

## **SINCE 1806 VALSPAR**

Cottage 791-4	Green Blue 800-2	Ashen Rose 746A-3
Green Stone 804-3	Bronze Glow 751A-4	Emporium Blue 755-4
Dark Gray Heather 774-1	Dark Denim 761-4	Slate 806-1
Sand 723-2	Eaton Greene 805A-4	Midnight Blue Grass 807-3

## **BEHR PREMIUM PLUS**

Ultra Pure White 5050	Blue Haze PEC-2	Blade PEC-33
Candle PEC-30	Red Hill PEC-58	Heritage Hill PEC-55
First Day PEC-26	Cool Blue PEC-25	Winning PEC-4
Suede PEC-35		

In addition, the color of roof flashing when used against exterior walls, should match the color of the wall; elsewhere, it should match the color of an approved roof flashing color, i.e., red or black. Black is approved for use on flashing and shutters only.

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## 8. Roofing

- a. **Administrative Review:** Administrative approval may be obtained *in the residential area only* on additions and out-buildings in the rear yard providing that the project meets the following qualifications.
- a. The approved materials are for use as visible roof covering only.
  - b. Roof materials used in repairing or replacing visible areas of any roof form will be either slate or conform to the approved shingle materials.
  - c. Fiber glass or organic "dimensional shingles" are allowed.
- b. **Board Review:** Board approval of a Certificate must be sought for:
- 1. Any project not meeting the criteria established above; and
  - 2. Materials to be limited to the following:
    - (a) Only natural slate will be allowed as roofing materials on the original structure.
    - (b) The Board may consider the use of synthetic slate in both the residential and commercial district on additions located on the front or the side of the original structure and on accessory structures.
3. **Metal hip flashing is not allowed on hip roofs.**

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## 9. Shutters

A Certificate is required before installation of shutters on any structure or window of a structure. Certificates may be applied for as follows:

- a. **Administrative Review:** A Certificate may be issued *in the residential area only* if the project meets the following qualifications.
  - (1) Shutter type is louver.
  - (2) Height of the shutter corresponds within three (3) inches to the height of the window as measured from top of sill to top of window brick molding.
  - (3) Width of shutters is at least 16 inches on window having a width of 34 inches or more, and 12 inches on windows having a width of 24 inches.
- b. **Board Review:** Projects not meeting the above qualifications must be submitted to the Board for approval.

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## 10. Siding

A Certificate of Appropriateness must be issued before the installation of any new siding. A Certificate is not necessary if only repairs are necessary which meet the provisions of "Maintenance or Small Area Repairs" as set forth in Section III., B. (4), on page 11. The Board cautions homeowners to check with city staff whenever there is doubt concerning meeting the provisions of "Maintenance or Small Area Repairs." A Certificate may be applied for as follows:

- a. **Administrative Review:** No Certificate can be granted through this process.
  - b. **Board Review:** Board approval of a Certificate must be sought for:
    1. Any project not meeting the criteria established above; and
    2. Materials to be limited to the following:
      - (1) Deteriorated architectural features shall be repaired rather than replaced, wherever possible.
      - (2) Replacement of missing architectural features and details should be based on accurate duplications of features and details.
      - (3) Exterior wall materials or proposed additions and modifications shall match the composition, color, and texture of the exterior wall material of the abutting original structure.
      - (4) Exterior wall materials covered by the construction of an addition should remain intact and in its original state, except for the area that is necessary to provide access by means of a doorway. Consideration will be given to utilize windows for access where they exist. Area of cutting will be limited to the standards set forth by the building codes for interior doors.
- (5) **Traditional Hilton Stucco**
- (a) **Traditional Hilton Stucco** material shall be matched when performing repairs or replacing stucco on the original building. The stucco shall be a three-coat

system, **containing a scratch coat, brown coat, and a finish coat resulting in a stone finish** that shall match the original stucco in composition, color and texture. While making repairs the finish-coat shall be feathered-edged into the existing stucco so as not to be able to discern the difference in appearance.

(b) **Traditional Hilton Stucco** material may be used over new construction on additions and accessory buildings where the original building has stucco exterior wall treatment.

(6) The Board may consider the use of concrete-lap-siding on addition and accessory structures as long as it matches the texture and the reveal of the existing siding.

**(7) Synthetic material may be used for trim on additions and outbuildings.**

*NOTE: For further information, see Appendix II, on page 59.*

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## 11. Signs

A Certificate of Appropriateness is required prior to installing any sign (other than that described immediately below) as provided in the Sign Ordinance and the Zoning Ordinance. A Certificate of Appropriateness must also be obtained prior to changing any color, lettering, or size of any existing sign.

Examples of such signs appropriate to the Village and compatible with its architecture and concept are illustrated in Appendix I, on pages 55 and 56.

- a. **Administrative Review:** No Certificate can be granted through this process.
- b. **Board Review:** In consideration of an application for signs, the Board shall consider:
  - (1) Proposed location of the sign to the building and its relationship to the location of other signs in the District;
  - (2) The type of materials and proposed colors; and
  - (3) The graphics involved should:
    - (a) Express the identity of the establishment or proprietor;
    - (b) Be legible;
    - (c) Be appropriate to the District design theme; and
    - (d) Be limited to that which is necessary to identify the establishment and its type of activity.
  - (4) Unless otherwise noted in this section, the maximum allowable sign area per premises shall be no more than twelve (12) square feet.

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## (5) Wall Signs

Building signs are mounted parallel to the building face and are sufficient in size to be visible to vehicular traffic. Given the varied architectural styles of the buildings in the commercial district and the modifications to some of the facades of the buildings, the Board acknowledges that the design and placement of building mounted signs may present a unique challenge in certain situations. Therefore, careful consideration should be given to the overall design of the sign with regard to the compatibility of the sign with the existing architectural features of the building and its site.

Design criteria for consideration of a project of this type are:

- (a) Wall signs should be constructed from either wood or metal and applied directly to the building facade. Plastic is not a permitted material. The sign should be designed to enhance the facade by blending with the architectural features of the building.
- (b) If a building mounted sign consists of a boxed display, both copy and background must be no more than twelve (12) square feet in area nor twelve (12) feet in height from mean ground level to the top of the sign;
- (c) No sign shall be allowed which involves the use of flashing, neon or fluorescent lights;
- (d) No building mounted sign shall extend above the roof line of the structure to which it is attached;
- (e) No building mounted sign shall extend above the window sill of the second story window; and
- (f) No sign shall be painted directly on the exterior wall surface of a building.
- (g) The graphic design should be simple in approach and reflect the business's name, and / or logo.
- (h) Sign should be easy to read, and it should not appear busy, cluttered or crowded.

- (i) Signs should not obstruct important architectural elements or details. Oversized signs create visual clutter along the streetscape and obscure important architectural features of the building on which they are placed.
  - (j) Sign should complement the signage of neighboring businesses.
  - (k) Signs should not have colors which clash or conflict with the building.
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## **(6) Band Signs**

- (a) Band signs are appropriate on buildings which have narrow lot frontages or on buildings where the architectural elements would otherwise be obscured by the application of another type of sign. Band signs are attached to or hang under the porch lintel beam and have a horizontal proportion and a width of five to six feet,
- (b) Signs should be located above the display window, but do not hang down far enough to obstruct the retail display.
- (c) The graphic design should be simple in approach and reflect the business's name, and / or logo.
- (d) Sign should be easy to read, and it should not appear busy, cluttered or crowded.
- (e) Signs should not obstruct important architectural elements or details. Oversized signs create visual clutter along the streetscape and obscure important architectural features of the building on which they are placed.
- (f) Sign should complement the signage of neighboring businesses.
- (g) Material and design should be compatible with the architectural features of the building.
- (h) Plastic is not a permitted material, and
- (i) Signs should not have colors which clash or conflict with the building.

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## (7) Post Mounted Signs

Design criteria for consideration of a project of this type are:

- (a) Sign shall not exceed 8.5 square feet in area.
- (b) Sign board may be rectangular, square, elliptical, diamond shaped, or any additional configuration as approved by the Board.
- (c) Sign shall be enclosed within a wooden frame. However, the Board may consider sign designs with irregular shapes which may not require a wooden frame.
- (d) Sign pole shall have a chamfered post and bracket as shown in Appendix I, page 55, and on page 41 of the The Hilton Village Commercial Area Master Plan, although wrought iron brackets may be used as support for the sign providing the design is approved by the Board.
- (e) The underside of the sign frame shall be 8' - 6" from the ground line. However, the Board may consider a lesser height when the sign is located in an area which is not traveled by pedestrians.
- (f) No post mounted sign shall be permitted which *is illuminated from the post or sign*.
- (g) No sign shall be allowed which involves the use of flashing neon, or fluorescent light. Computerized message boards or any lighted sign simulating motion are not allowed.
- (h) The Board will consider the placement of the sign on the property. Consideration will be given to surrounding appurtenances, and existing site features with regards to optima visibility. It should be noted that not every circumstance may be suitable for an installation.

- (I) In circumstances where there exist parcels which have at least a 50 foot frontage which contains more than one business, the Board will take under consideration the use of more than one post mounted sign on the same premises; but not more than a total of two (2) post-mounted signs per premise. When reviewing a request of this nature, the Board will consider the following:
  - (1) The placement of the sign with references to other exterior appurtenances, such as, its relationship to other signs and other exterior features.
  - (2) The overall design of the building, especially with regards to its facade, and the potential use of a building mounted signs, etc., and
  - (3) The design and graphics of the signs shall be in compliance with those as described in this section for post-mounted signs.

*Reference: AThe Hilton Village Commercial Area Master Plan, Post-Mounted Signs, Figure >S= of Insert.*

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## **(8) Projecting Signs**

Design criteria for consideration of a project of this type are:

- (a) The sign shall be mounted perpendicular to the building facade and mounted at a height approved by the Board.
- (b) No sign shall be more than one-and-one-half square feet unless otherwise approved by the Board.
- (c) No sign shall be allowed which involves the use of flashing neon, or fluorescent light. Computerized message boards or any lighted signs simulating motion are not allowed.

*Reference: AThe Hilton Village Commercial Area Master Plan, Projecting Sign, Figure >S= of Insert.*

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**(9) Roof Signs:** Roof signs shall not be permitted.

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**(10) Window Signs:**

One window sign no larger than six (6) square feet in area may be installed in a window opening without obtaining a Certificate of Appropriateness. Examples of such signs appropriate to the Village and compatible with its architecture and concept are illustrated in Appendix I, on pages 55 and 56.

- (a) Window signs shall be displayed only on the ground floor of buildings.
- (b) Total area of all signs is not to exceed twelve (12) square feet or 25% of the total window area opening, whichever is less.
- (c) No sign shall be allowed which involves the use of flashing, neon, or fluorescent light. Computerized message boards or any lighted signs simulating motion are not allowed.
- (d) Colors should be approved colors listed on pages 25, 26, 27, and 28.
- (e) Lettering styles and sizes should be appropriate to the Village and compatible with its architecture. Recommended type styles for predominant words include, but are not limited to: Times Roman, Caslon, Bookman, Goudy, Century, Clarendon. Sans-serif or modern type styles, such as Helvetica, Gothic, Eurostyle, Optima, may be suitable for minor words or in certain designs. Stencil letters are not allowed.
- (f) Signs must be physically affixed or adhered to the window.
- (g) A sign that is legible from the public right-of-way and is six (6) or more square feet in area and is located less than ten (10) feet away from the window through which it is viewed shall be considered a window sign even though it is not affixed physically to a window.

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## (11) Community Facility Signs

**Board Approval:** When reviewing requests for more than one post mounted sign, projecting sign or building-mounted sign for community facilities, the following criteria must be met:

- (1) There shall not be more than one post mounted sign per street frontage, and each sign shall be in accordance with the provisions as set forth in Section III., E, (6), page 36, examples of which may be found on page 55;
- (2) Building-mounted signs shall be in accordance with those in Section III., E., (5), page 34 & 35, examples of which may be found on page 55 & 56;
- (3) Projecting signs shall meet the provisions which are set forth in Section III., E., (8), page 37, examples of which may be found on page 55; and
- (4) Changeable message signs may be considered for replacement when deemed appropriate by the Board.

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## (12) Signs - Awnings

Awnings are character defining features that contribute to the overall appearance and the visual impact of a building on the streetscape. Consequently, the choice of colors and the design of awnings are critical to the architectural details of a building when attempting to balance the mass of a structure by the installation of an awning. This is particularly even more important when an awning is installed on the façade of a building. Therefore; the following standards should be applied on a project of this nature.

- (1) Awnings should complement the building facade and should not overwhelm the building or conflict with the streetscape.
- (2) Signs on awnings should contain the name and / or logo of the business.
- (3) There shall be no more than one sign per awning surface.
- (4) Awnings signage shall be included in the total sign area allowed for each business.

- (5) Signage shall not exceed twenty-five (25) percent of the total sign area, but in no case shall it exceed two (2) square feet; unless, in special circumstances as specified by the Board.
- (6) Awning signage shall be included in the total sign area allowed for each business.
- (7) Small two-story buildings with one-story porches, awnings and canopies which are attached to buildings need to be small and of limited projection (one to three feet) if they are to avoid overwhelming the facades.
- (8) Fabric awnings and canopies are appropriate on these buildings where they can be attached to the primary facade of the building, rather than the edge of the roof.
- (9) Canopies and awnings should not be used to extend the roof area of the primary roof of the building because this will interfere with the visual unity of the townhouse row-buildings and make the display windows dark and hard to see.
- (10) The Board may allow larger canopies on two-story buildings where the scale of the building can accommodate a larger forward projection.
- (11) Canvas awnings are allowed, and should have side panels.
- (12) Vinyl and plastic awnings are not allowed.
- (13) Backlit awnings or lighting systems designed to up-light awnings are not allowed.
- (14) Colors shall be limited to two, excluding logos and lettering.
- (15) Fabric patterns shall be muted and compatible with the building and sign color scheme with colors from the Martin Senour "Williamsburg" exterior paint colors. The use of primary, neon, and day glow colors are not permitted.

- (16) Sizes and styles of awnings should be uniform throughout the site and should be compatible with the building and the sign color schemes.
- (17) Coordinated awning design with consistent heights and compatible awning colors is recommended for multiple tenant buildings.

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### (13) Multi-Tenant Building Signs

There are a few buildings in the commercial district which are located on large lots. These buildings can accommodate more than one business, and may require a need for more than one sign to identify the businesses. In circumstances of this nature, the Board suggests that the owner of the building develop a sign plan and submit it to the Board for approval in order to prevent a cluttered appearance of uncoordinated signs. The plan should depict the size, type of sign, and the location of all signs on the building. Each sign should be in compliance with an approved sign from the design guidelines with respect to size, location, and etc. Once the sign plan has been approved by the Board each tenant will then make an individual application for their own graphics whenever changes to the signs are required. Under special conditions, the Board may consider additional sign area.

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## 12. Window, exterior

A Certificate of Appropriateness must be issued before installation of new, additional or replacement windows or before modifying enlarging or enclosing window spaces with other than storm windows or screens. A Certificate is not necessary if only repairs, such as replacement of broken panes, are involved. A Certificate may be applied for as follows:

- a. **Administrative Review:** No Certificate can be granted through this process.
- b. **Board Approval:** Board approval of a Certificate must be sought if any windows **are altered in appearance.**

- (1) Window treatment is one of the most significant character defining features of a structure. Consequently, in order to maintain the architectural integrity of a structure, all modifications to windows should match the original design in placement, size, and number of proportional panes of the original structure.
- (2) All windows shall be replaced with the same style as the original window, and may include vinyl *thermal-pane windows providing it is manufactured or permanently attached* with the grille pattern on the **exterior surface of the glass**.
- (3) Changing the original size of windows in a structure disturbs the original window pattern, thereby drastically altering the original architectural symmetry of the window pattern, therefore:
  - (a) Windows located in the front and the side of a structure have high visibility and should not be altered; and
  - (b) When making improvements to the rear of a structure, it is preferred that the size and placement of windows be in accordance to existing window patterns, but alternatives will be considered.
- (4) When replacing windows the following criteria will be taken under consideration:
  - (a) Be of the same type, either double hung or casement, as the original window;
  - (b) Have the same number and proportional size of panes as the original or existing window; and
  - (c) Consideration will be given to the profile of the grid system with regards to the depth and width of the muntins in the window. The muntins shall not be flat against the glass and shall be of sufficient depth to provide shadow detail. The width of the muntins shall be no less than 7/8" or no more than 3/4", and shall match the original window in appearance.

- (5) Under certain circumstances, the Board will consider the use of a grid system in existing windows. When grids are applied in existing windows, the following criteria will be taken under consideration:
    - (a) Existing windows shall have muntins applied in a manner which produces a bond that is permanently attached to the exterior surface of the glass.
    - (b) Consideration will be given to the profile of the grid system with regards to the depth and the width of the muntins in the window. The muntins shall not be flat against the glass and shall be of sufficient depth to provide shadow detail.
    - (c) The grid pattern shall match the style of the original windows, as closely as possible.
- 

### **13. Windows, storm**

New or replacement storm windows may be installed without obtaining a Certificate on the following conditions:

- a. Installation does not involve the removal of trim;
- b. Installation is not for the purpose of enclosing an entrance or porch unless a Certificate has been approved for such installation; and
- c. Colors shall conform to the guideline specifications within the District for paint.

Projects not meeting the qualifications established above must be submitted to the Board for consideration.

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## 14. Decks

- a. **Administrative Review:** No Certificate can be granted through this process.
- b. **Board Review:** The Board discourages the construction of substantially large decks. Consideration will be given to the following:
  - (1) Site location
  - (2) Grading, and
  - (3) Overall compatibility with existing yard features.

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## 15. Satellite Dish

- a. **Administrative Review:** No Certificate can be granted through this process.
- b. **Board Review:** Board approval of a Certificate must be sought under the following provisions:
  - (1) No satellite dish shall be erected on a chimney or underneath the overhang of a structure;
  - (2) No satellite dish shall be erected which is clearly visible from the street; and
  - (3) No satellite dish shall exceed 18 inches in diameter.

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## 16. Television Antennas

- a. **Administrative Review:** No Certificate can be granted through this process.
- b. **Board Review:** Board approval of a Certificate must be sought under the following provisions:
  - (1) No television antenna shall be erected on a chimney or underneath the overhang of a structure; and
  - (2) No television antenna shall be erected which is clearly visible from the street.

---

## 17. Street Furniture

- a. **Administrative Review:** No Certificate can be granted through this process.
- b. **Board Approval:** Board approval must be sought for the placement of street furniture in the commercial district under the following provisions:
  - (1) The director of engineering may issue a permit authorizing the use of the special sidewalk easement area within the Hilton Village Historic District commercial area for certain items of street furniture, which is defined as chairs, tables, awnings, umbrellas, planters, and other outdoor furniture related to the operation of a business that is adjacent to the special sidewalk easement. When issuing a permit the director of engineering shall consider the recommendations of the Hilton Village Architectural Review Board. The following procedure shall be followed when reviewing requests for street furniture:
    - (a) Persons wishing to place item(s) of street furniture in the special easement area shall make application to the Hilton Village Architectural Review Board prior to requesting a permit from the director of engineering.
    - (b) The Board shall review and recommend to the director of engineering the placement, number, character, color, size, decorative features and construction of such street furniture.
    - (c) The Board shall recommend to the director of engineering whether or not a permit should be issued, and under what conditions, if any.
    - (d) The Board shall take the following provisions under consideration when reviewing such requests:
      1. All items placed in the special easement area shall be constructed of materials and have colors appropriate and compatible to the historic district;

2. Tables, benches and chairs shall be made of wood wrought iron, or other materials determined to be appropriate and compatible by the Board;
3. Awnings and umbrellas shall be made of canvas or other fabric determined to be compatible and appropriate by the Board, and shall have a size and color approved by the Board;
4. Planters shall be made of terra cotta, concrete, wood or other materials determined by the Board to be appropriate and compatible to the historic district, and shall have a size and color approved by the Board;
5. Items placed in the special sidewalk easement area shall be located in the running bond paver sections of sidewalks adjacent to buildings. Items shall not be placed on the herring bone patterned paver fields or the adjoining soldier course borders; and
6. The items of street furniture listed in Table 1 have been pre-approved by the Board as to color, size and material.

Refer to Appendix IV, for Streets and Sidewalk ordinance. Chapter 38, Article I, Section 38-3.2, Permit for sidewalk use in Hilton Village Historic District Commercial Area.

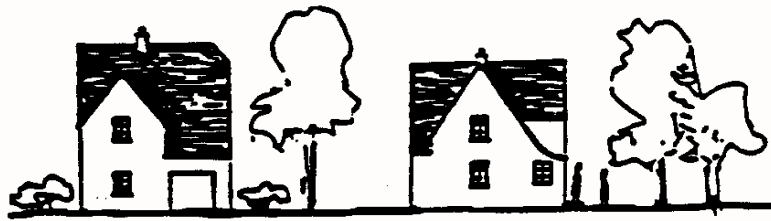
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## 18. Hot Tubs

- a. **Administrative Review:** No Certificate can be granted through this process.
- b. **Board Review:** A Certificate shall be sought before the installation of a hot tub. Permits are also required from the Department of Codes Compliance. The Board shall give consideration to the following:
  - (1) Site location
  - (2) Grading, and
  - (3) Overall compatibility with existing yard features.

APPENDIX I

CHARACTERISTICS AND APPROVED MATERIALS/DESIGNS OF THE VILLAGE



English Treatment

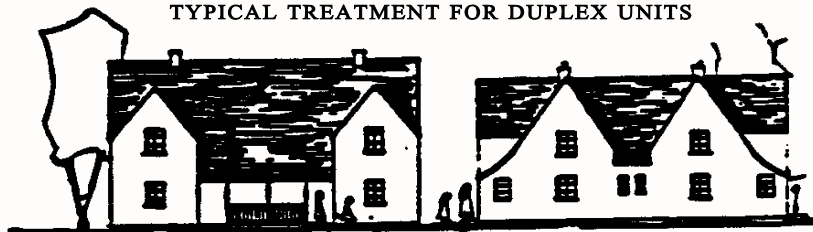


Pre-Georgian Treatment



Dutch Treatment

TYPICAL TREATMENT FOR DUPLEX UNITS



English Treatment



Pre-Georgian Treatment

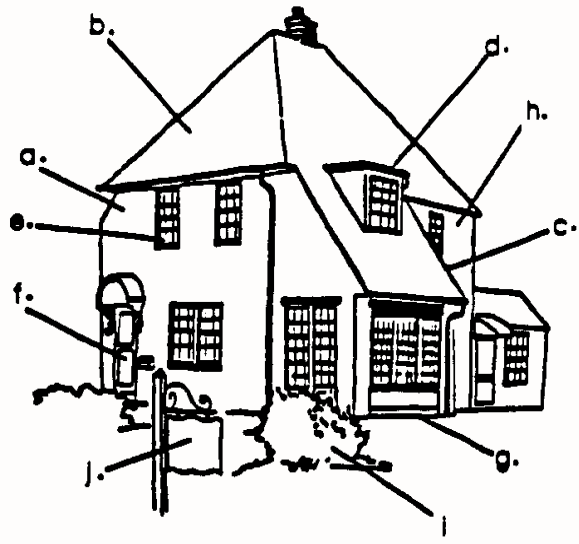


Dutch Treatment

## BUILDING COMPOSITION

Items to observe in reviewing a building:

- a. Wall material
- b. Roof shape
- c. Detail at verge and eaves
- d. Dormers
- e. Windows
- f. Entrances
- g. Foundation
- h. Color
- i. Landscaping
- j. Signs



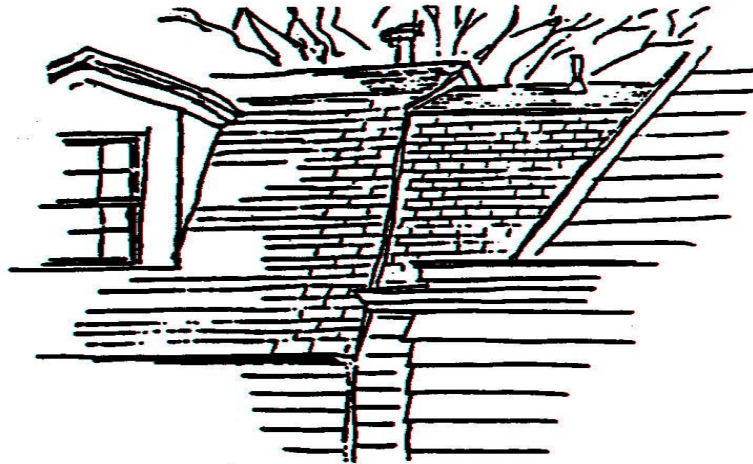
## WALL MATERIAL

- a. Original Material
  - 1. Clapboard
  - 2. Random width Shingles
  - 3. Stucco
- b. Acceptable Materials\*
  - 1. Wood siding
  - 2. Stucco
  - 3. Random width shingles
  - 4. Other as approved by the Board

\* When having the same dimensions of the original material.

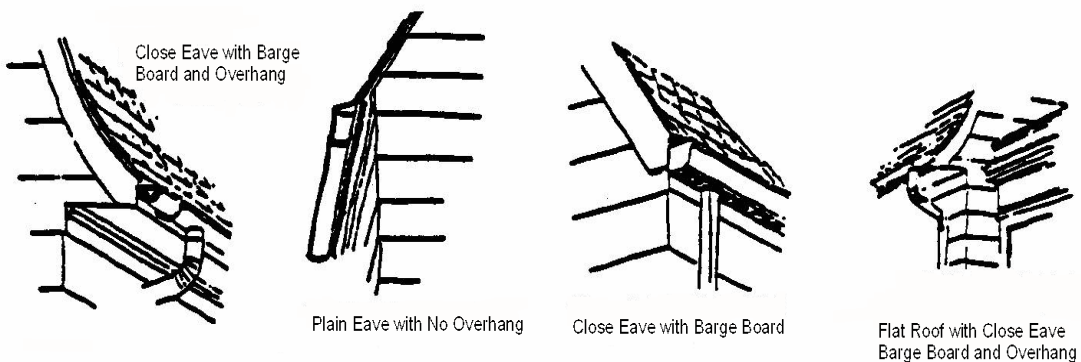
## Acceptable Methods for Additions to Buildings in Hilton Village

Addition using raised roof line, observing the same pitch as the original structure and using a 6" offset to provide a break for construction joints.



### DETAIL AT EAVE AND VERGE

The treatment of roof lines at the eave and verge in Hilton has been limited to basic and simple detail, using plain and close eaves with no or slight overhangs. In some instances, barge boards were used and rounded gutters are a common occurrence. The following sketch details are intended to give a feel for the degree and type of detailing of roof lines that are currently attributable to Hilton Village:



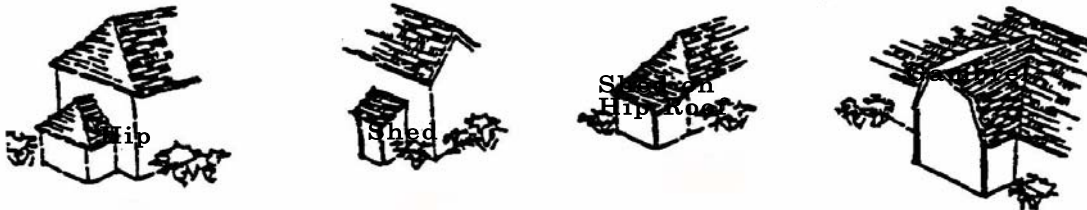
## ROOF SHAPES

The roof line of Hilton homes helps to create the unique character of the Village. Generally, roofs are steep pitched and very angular. In planning new buildings or additions, particular attention must be given to assure that the new roof is complementary to the existing roof lines.

### a. Full Forms

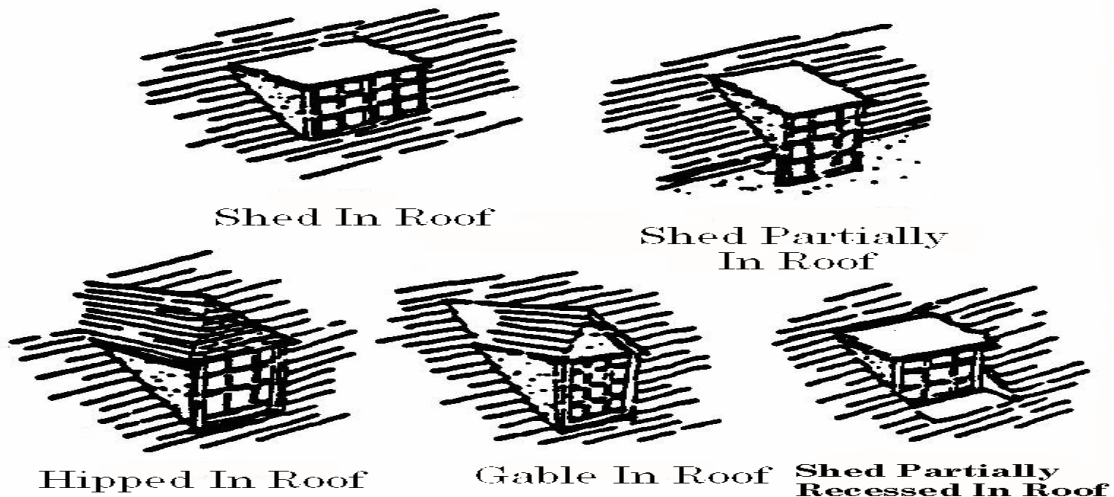


### b. Projections



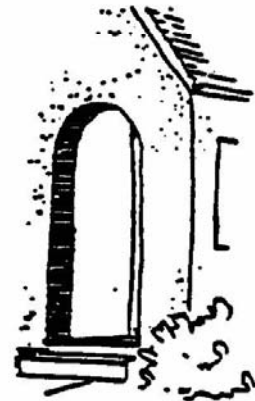
## DORMERS

In Hilton, dormers are of the types shown below in some instances with modifications.

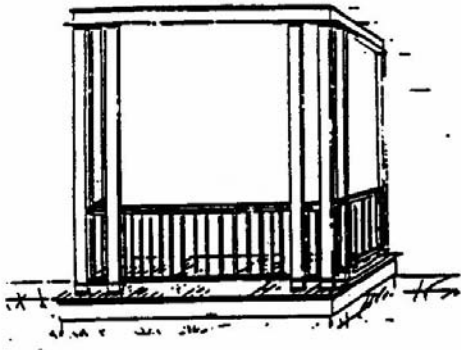


## DOORS AND ENTRANCES

The following sketches show the degree and type of detail given to doors and entrances in the Village. The range of treatments is not limited to the examples shown, but is varied and imaginative enough to offer a wide range of possibilities depending on the building type and the discretion of the owner.



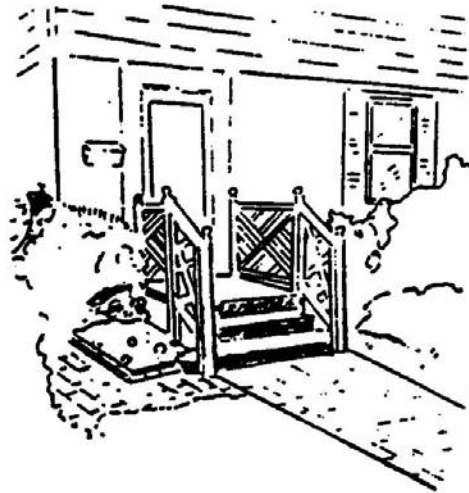
VERTICAL STYLED  
PICKET RAILING



VERTICAL STYLED  
PICKET RAILING



INAPPROPRIATE CHIPPENDALE RAILING



DOUBLE  
GARAGE DOORS



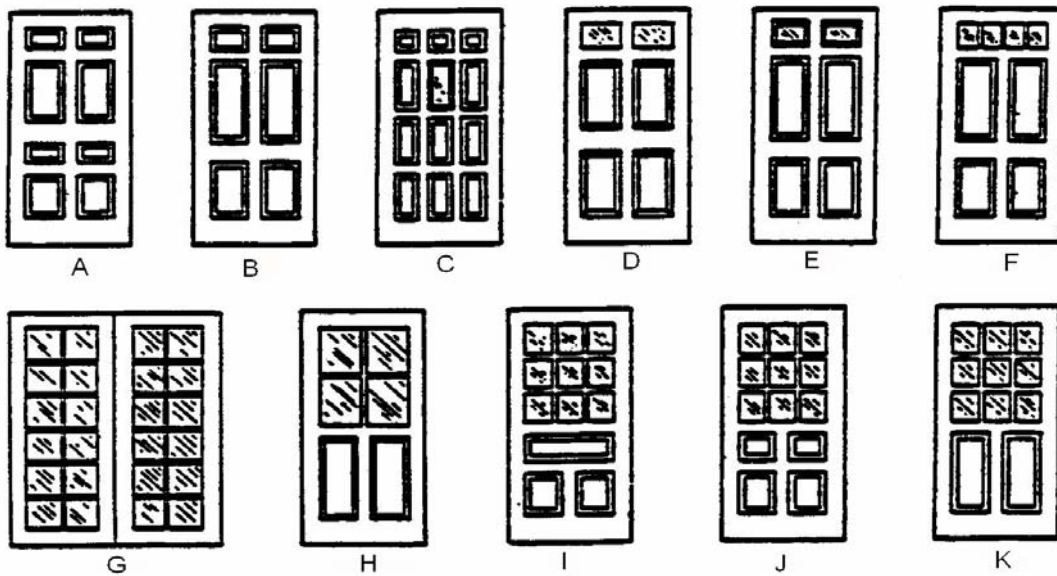
RECTILINEAR & DIAGONAL  
LATTICE STYLED FENCE



## EXTERIOR DOORS

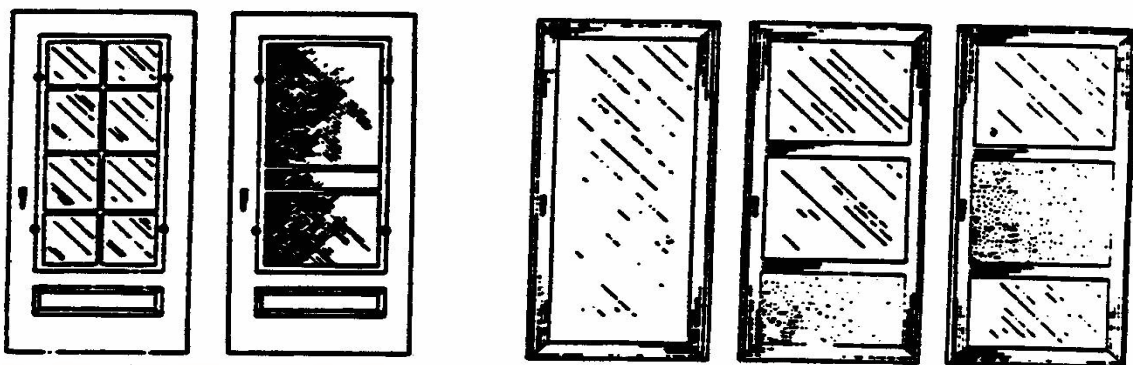
New wood exterior doors for replacement requiring no modification to entrance treatments and of the types listed below are approved. (Doors having similar specifications, panel sizes and layouts, rail widths, and moldings are acceptable as substitutes for those illustrated below).

Colors for exterior doors, when used with an approved wall color, will conform to guidelines for color as given on pages 25, 26, 27 and 28.



## STORM DOORS

The following illustrations are of approved storm doors. Other designs must be submitted to the Review Board for consideration.



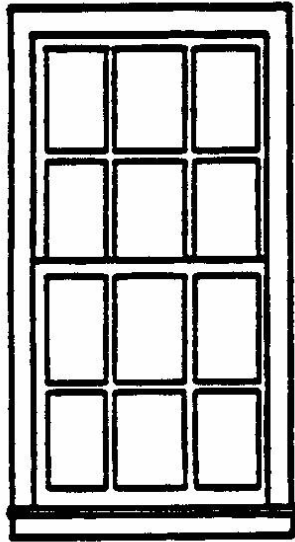
Wood Frame With Optional  
Screen or Panes

Wood or Aluminum

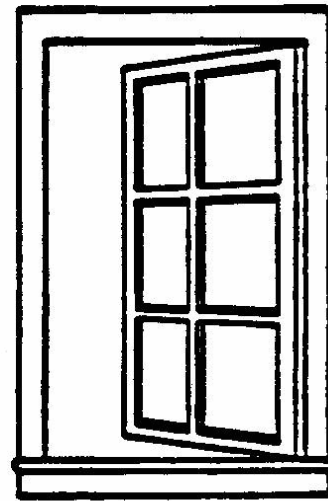
## WINDOWS

Original Hilton windows were double-hung or casement. All windows were wood. When replacing windows or installing new windows in additions, the sizes of the new windows should match the sizes of existing windows. Sill and frame widths should be in proportion. The width, the height, and the number of window panes should be the same as the original.

The placement of new windows in additions requires consideration of the distance to the eave line from the top of the window, the distance between windows, and the distance from the window to the ground. The new windows should hold the same proportion to the house as existing windows.



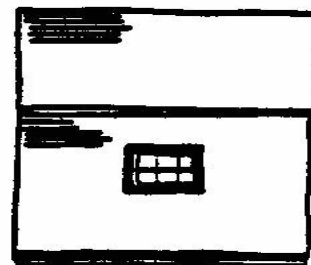
Double-Hung



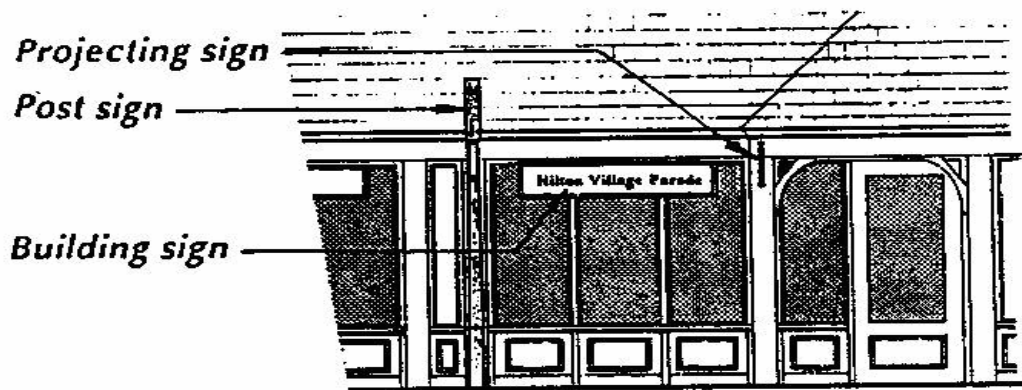
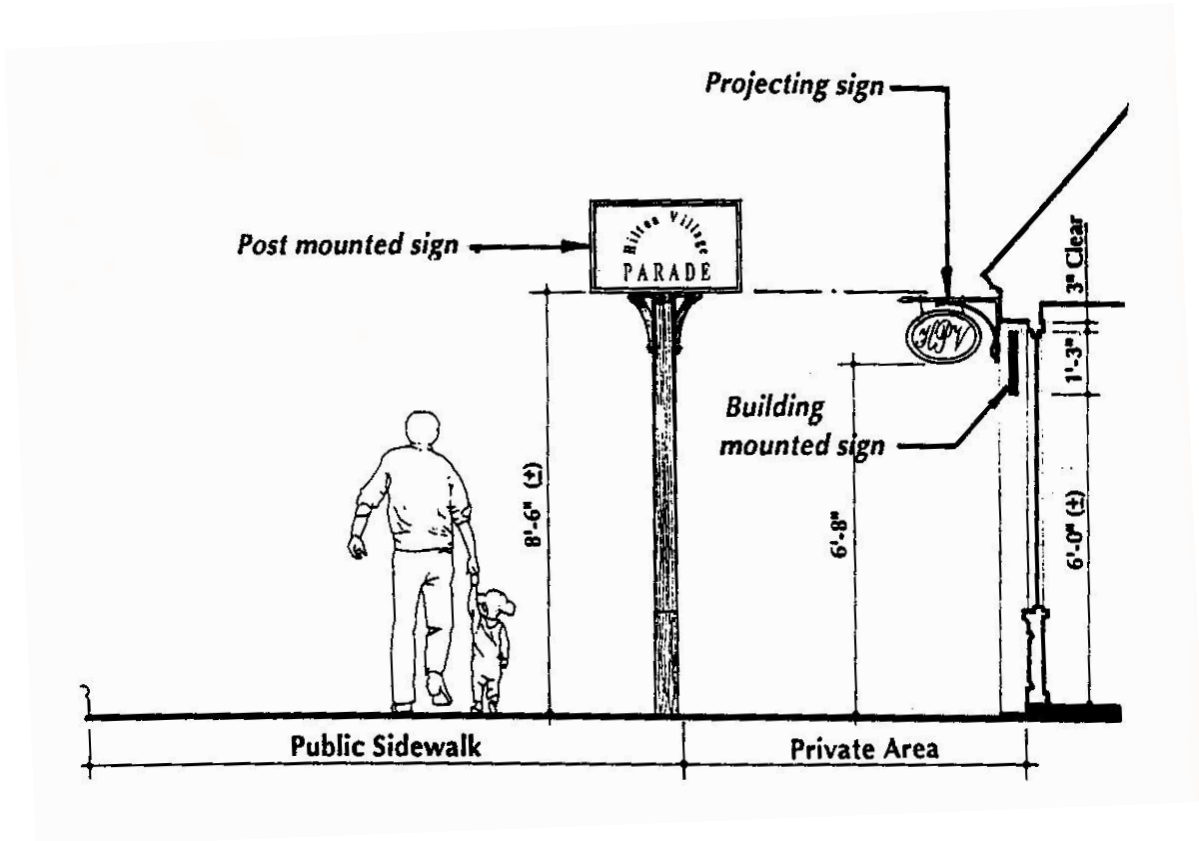
Casement

## STORAGE BUILDINGS

Accessory buildings must be constructed of durable (non-metal) material on a permanent foundation. Building to be designed in an aesthetically pleasing manner and located on the property in accordance to the City of Newport News Zoning Ordinance and the Review Board's recommendations. The illustrations below are of outbuildings designed for Hilton Village by the original architect. This particular design is appropriate to the Village's architectural character and reflects the area's original theme.



# SIGNS





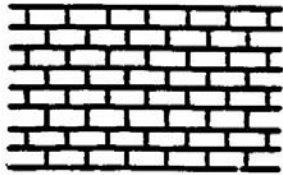
**APPROPRIATE WINDOW SIGNAGE**



**WINDOW SIGNAGE NOT APPROPRIATE**

## WALKWAYS AND PATIOS

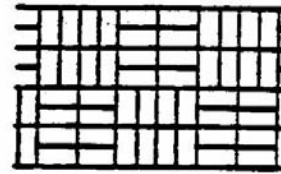
When planning walkways and patios, the Review Board recommends the use of exposed aggregate concrete or dark paving bricks. The following illustration of brickwork shows several attractive designs for laying brick pavement.



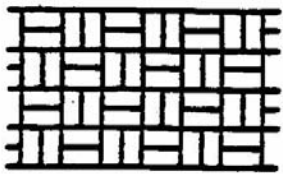
Running Bond



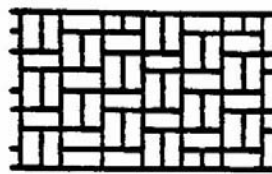
Jack-on-Jack



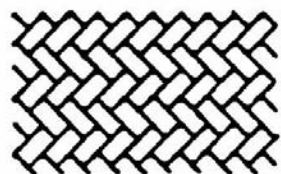
Double Basket Weave



Basket Weave



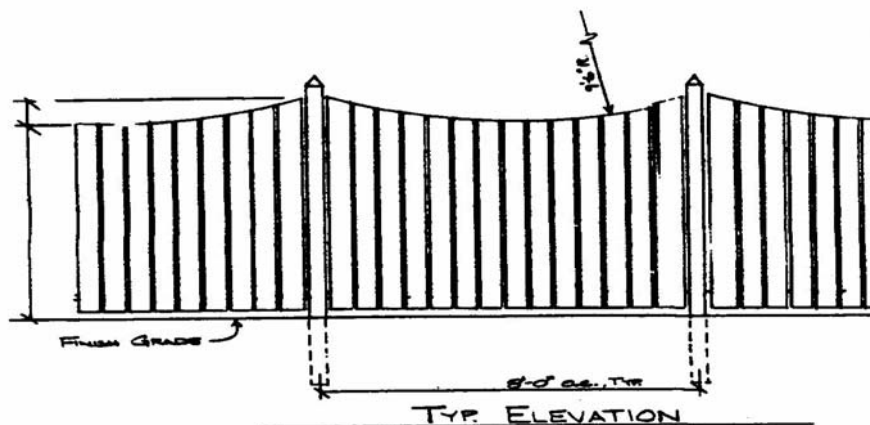
Half Basket Weave



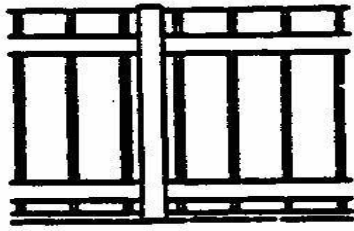
Diagonal Herringbone

## FENCES

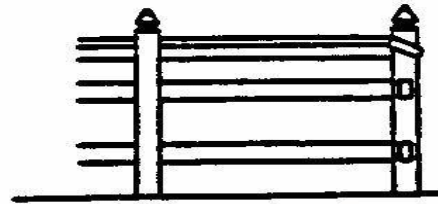
As with any other exterior improvements to structures or grounds, the construction of fences should reflect and maintain the architectural integrity of the Village setting. The following designs are appropriated for use in the Village. In particular, the picket design is aesthetically pleasing when painted white.



Scallop Style Fence



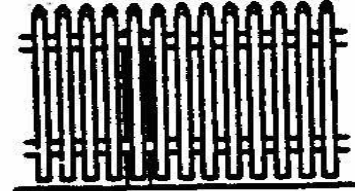
Board and Batten



Post and Rail



Types of Picket Tops



Picket

New fences and modifications to existing fences resulting in changes in height, material, or color, and conforming to the following criteria are acceptable. Any fence types other than those listed or alterations to location to design are to be submitted to the Review Board.

**MAXIMUM HEIGHT**

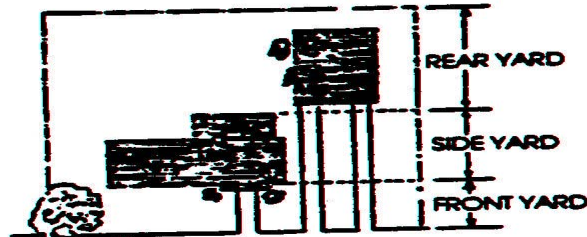
TYPE	REAR	FRONT	SIDE
Picket	48"	x	48"
Stockade	48"	x	x
Board & Batten	48"	x	48"
Post & Rail	48"	x	48"
Chain link	x	x	x
Shadow Box	48"	x	48"

00" Denotes maximum height

x Not acceptable under Administrative Review Procedure

Wooden fences, if not left a natural wood color, should be painted in accordance with the color list on pages 25, 26, 27 and 28.

The illustration below shows the location of front, rear and side yards as defined by the Zoning Ordinance.



## APPENDIX II

### PROHIBITION OF SIDING

The appearance of a historic building is a product of the cultural heritage of its region, the technology of its period, the skill and training of its builders and the material used for its construction. The application of siding which covers, or causes the removal of original building features raises some of the fundamental issues of architectural conservation. Therefore, the Hilton Village Architectural Review Board has prohibited the use of aluminum and vinyl siding for the following reasons.

- (1) The siding of structures having walls or portions of walls whose covering material is stucco or shingle can radically change the appearance of the structure. Obviously then widespread application of siding over stucco or shingle could produce the "tract" housing appearance the original designers strove to avoid.
- (2) A structure is historic because of its materials and the craftsmanship reflected in its construction are tangible and irreplaceable evidence of our cultural heritage. To the degree that they conceal the original building fabric, substitute materials, such as aluminum and vinyl siding will always subtract from the basic integrity of historical and architectural significant buildings.
- (3) The historic appearance of a building may be visually altered by changes in scale, texture, color, and detailing which are inappropriate. The changes are especially dramatic where "clapboard" spacing is increased, shadow reveals are lost, trim is removed, and windows are altered or replaced.
- (4) The existing wall fabric is further damaged by the nailing necessary to apply siding. The panels may be nailed directly to the building fabric or furring strips may be nailed as a base. Either technique will leave numerous holes in wood siding and will cause irreversible cracking or spoiling of masonry walls. Although this reference to the damage of masonry is included as a point of fact, the application of aluminum or vinyl siding is highly inappropriate to historic masonry buildings, since the original fabric is lost.
- (5) If an impermeable layer of siding is applied to the exterior or cold side of a wall, moisture can be trapped within the wall cavity and create conditions favorable to deterioration due to wood rotting or staining fungi.
- (6) Another potential source of moisture problems results from the application of aluminum and vinyl siding to buildings in need of repair. When leaking roofs, broken gutters, and downspouts, or flashing problems are left unrepaired during a cosmetic application of an impermeable siding, quantities of water may be channeled into the wall behind the siding. Such excessive moisture levels within the wall can contribute to problems with interior finishes such as paint or wallpaper, causing peeling, blistering, or staining of the finishes.

- (7) The application of aluminum or vinyl sidings prohibits periodic inspection of the underlying historic building fabric. Since these sidings are frequently applied to buildings in need of maintenance and repair, the result of this can be the concealing of problems which are the early warning signs of deterioration. Minor problems, concealed and uncorrected, can progress to the point where expensive, major repairs to the structure are necessary.
- (8) If aluminum or vinyl sidings are damaged and later replacement is necessary, it may be difficult or impossible to obtain an exact replacement. Siding manufacturers can change products, styles, or colors in response to market factors without any advance notice to owners.
- (9) There is little doubt that the application of aluminum or vinyl siding will affect property values. In the case of a non-historic house of modest cost and in need of repair, the effect will likely be to increase the property value. A different set of factors govern in the case of a historic building, particularly in a historic district where authenticity in materials and style commands a premium.

## APPENDIX III

Article XXXI, Division 4, Section 45-3129-45-3127 as amended, of the Newport News City Zoning Ordinance establishes the Historic District Regulations and creates the Review Board. A copy of the applicable ordinance has been reprinted below for reference purposes.

### PART 2. SPECIAL HISTORIC ZONING REGULATIONS FOR HILTON VILLAGE

#### Sec. 45-3129. General.

**A. Purpose and intent.** The purpose of this article is to protect against destruction, degradation, and encroachment upon the areas, structures, and premises designated to be of substantial historic significance; to encourage uses which will add to their continuance, conservation, and improvement in a manner appropriate to the preservation of the historic heritage of the City of Newport News and the Commonwealth of Virginia; to prevent creation of environmental influences adverse to such purposes; and to assure that new structures and uses within the Historic District created by this article will be in keeping with the character to be preserved and enhanced. To accomplish such purpose, this article provides for:

- (1) The creation of the Hilton Village Historic District;
- (2) Modification to use and dimensional regulations within the Historic District;
- (3) Architectural standards for the Historic District;
- (4) The creation of an architectural review board; and
- (5) A procedure for reviewing plans by the architectural review board.

**B. Creation of Hilton Village Historic District.** A special zoning district is hereby created to be known as the Hilton Village Historic District and as shown on the Zoning District Map, which is on file in the office of codes compliance and in the department of planning and development. The Hilton Village Historic District as shown on the Zoning District Map is bounded approx-

imately by the east side of River Road, the rear property line of the lots facing south on the north side of Post Street, Municipal Lane extended from Post Street to Hopkins Street, the rear property line of three parcels (1, 4, 5, block 30, Hilton Village Subdivision) on the southeast corner of Warwick Boulevard and Hopkins Street to the rear property line of the lots facing north on the south side of Hopkins Street and along such rear property line to River Road. (Ord. No. 5028-97, § 1)

**Sec. 45-3130 Permitted uses.**

**A. Uses permitted.** In the Historic District, buildings or premises may be used as permitted in the underlying R5 or C1 zoning districts in accordance with Article IV, section with the following modifications:

- (1) *R5 Low Density Residential Modifications:* In the R5 Low Density Residential District the following uses are not permitted by right in the Hilton Village Historic District.
  - a. Multiple Family
  - b. Planned Residential Development
  - c. Public or Private Secondary School
  - d. Community Recreation Center
  - e. Fire Station
  - f. Library
  - g. Neighborhood Swimming Pool
  - h. Police Station
  - i. Public or Private Elementary School
  - j. Bus Stop, Bus Shelter or Taxi Stand

(2) *C1 Retail Commercial District Modifications:* In the C1 Retail Commercial District the following uses are not permitted by right in the Hilton Village Historic District:

- a. Hospital
- b. Medical and Dental Laboratory
- c. Nursing Home, Convalescent Home
- d. Outpatient Care Clinic
- e. Electrical Substation
- f. Child Care Center
- g. Vocational School
- h. Funeral Home
- i. Lodge, Fraternal or Social Organization
- j. Neighborhood Swimming Pool
- k. Public or Private Golf Course
- l. Parcel Distribution Center
- m. Coin Operated Commercial Laundry
- n. Country / Yacht Club
- o. Health Club and Fitness Center
- p. Cemetery Monument Sales
- q. Convenience Store Without Gasoline
- r. Department Store
- s. Extended Stay Motel
- t. Furniture and Upholstery Store
- u. Golf Pro Shop / Clubhouse

- v. Light Equipment Rental and Leasing
- w. Liquor Store
- x. Mall / Mall Building
- y. Hotel / Motel
- z. Pawn Shop
- aa. Tennis Pro Shop / Clubhouse
- bb. Auto Parts Store (no service)
- cc. Boat Basin
- dd. Drive-Up Windows and Drive-Through Lanes

Provided further that the following uses are permitted by right in the C1 Retail Commercial District in the Hilton Village Historic District: Dwelling unit above a commercial facility, bed and breakfast, single family detached, duplex and single family attached dwelling.

- (3) **Accessory uses.** Any use customarily incidental or accessory to any of the above uses is permitted in this district when clearly established as an accessory use to a permitted use.
- (4) **Signs.** Signs permitted in the Hilton Village Historic District shall be those set forth in the City Code Chapter-33.01-4(e). In reviewing requests for such signs, the architectural review board shall consider whether each sign is compatible with the Hilton Village architecture and concept.
- (5) **Special exceptions.** Special exceptions shall be permitted as allowed in the regular zoning district regulations; provided however, that the review as otherwise required shall include review by the architectural board. (Ord. No. 5028-97, § 1)

**Sec. 45-3131. Architectural standards.**

New buildings in the Hilton Village Historic District shall be basically rectangular in plan and shall conform with the original design of the village in spacing, height, and setback. Materials and color shall be in conformity with the guidelines set by the architectural review board. Plans for all new buildings shall be approved by the board, unless otherwise provided. Additions and alterations to buildings shall also follow the guidelines set by the board, and plans shall be approved by the board. (Ord. No. 5028-97, § 1)

**Sec. 45-3132. Lot areas and dimensional regulations.**

The lot area and dimensional regulations of the regular zoning districts shall apply unless otherwise modified below:

- (1) **Residential districts:** Front and side yards shall conform to the pattern established by the original Hilton Village design. Accessory buildings shall be set back no less than three (3) feet from the side yard and five (5) feet from the rear yard. Notwithstanding the foregoing, accessory buildings may be reconstructed within the original footprint of prior or existing accessory buildings.
- (2) **Commercial districts:**
  - a. Side and rear yards and height of buildings shall conform to regulations of the regular zoning district.
  - b. Front setbacks shall be no closer to the street than were the existing buildings on the date of passage of this chapter. However, the Hilton Village Architectural Review Board may approve front set backs closer to the street when the building construction or addition meets the Recommended Design Standards for the Hilton Village Commercial Area.≡
  - c. Building height shall not exceed forty (40) feet.  
(Ord. No. 5028-57, § 1)

**Sec. 45-3133. Off-street parking and loading regulations.**

Off-street parking spaces and loading spaces shall be provided in conformity with the requirements for specific uses set forth in Article XXX. Plans for off-street parking shall be approved by the board.

However, within the commercially zoned area of Historic Hilton Village public and private off-street parking places shall be provided in conformity with the adopted Hilton Area Neighborhood Plan. The number of off-street parking spaces required by Article XXX may be reduced provided that development plans for off-street parking shall be approved by the department of engineering.

(Ord. No. 5028-97, § 1)

**Sec. 45-3134. Architectural Review Board.**

**A. Creation of the architectural review board.** The architectural review board shall be appointed by the Newport News City Council. Such board shall consist of seven (7) persons having the following qualifications: one (1) professionally licensed architect or engineer; one (1) landscape architect or artist, three (3) resident owners of Hilton Village, and two (2) owners or operators of business in Hilton Village.

**B. Term of office.** The term of office is four (4) years for all members. No member shall serve more than two (2) consecutive terms, except that those members who initially fill unexpired terms less than four (4) years may be reappointed for two (2) full four (4) year terms. However, in no case shall any member serve more than ten (10) consecutive years.

**C. Organization and meetings.** The board shall elect a chairman each year and other officers as necessary. The board shall meet at regularly scheduled times. A quorum shall consist of four (4) members, but a lesser number may conduct public hearings or meetings at which the principal purpose is collection of information, provided that no action binding on the board is taken at such hearings or meetings. All meetings and records of the board shall be public, and anyone present at the meeting shall be allowed to speak. Decisions by the board shall be made by a majority vote of those members present at any meeting where a quorum is present.

#### **D. Procedures and duties of the architectural review board:**

- (1) The architectural review board shall prepare guidelines for standards to be applicable to land and exterior buildings within the Hilton Village Historic District.
  - a. Such guidelines shall be in written form and shall become effective only upon a duly advertised hearing.
  - b. Said public hearing shall be advertised once in a local newspaper, not less than ten (10) days prior to the date of said hearing.
  - c. The board shall review the guidelines at least once each year at public hearing and may make any changes necessary to protect the intent of this article.
  
- (2) Plans to be submitted:
  - a. All plans for new buildings and additions and alterations to existing buildings in the Historic District shall be reviewed by the architectural review board, unless otherwise provided herein. The department of planning shall be responsible for receiving applications and providing technical assistance to the board. Whenever a permit for a building, a sign, or demolition is needed within a historic district, the applicant shall submit to the board plans showing sufficient details for judgment to be made. The board shall review the application within thirty (30) days after it is filed. The board shall notify the applicant and the owners of the property adjacent to each side of the property in question of the time and place where a review is being held. Such notice shall arrive at least five (5) days before the review.
  - b. The board, where it deems it necessary in order to review a particular application, may require the submission of any or all of the following items: Architectural plans, plot plans, landscaping plans, plans for off-street parking, proposed signs, elevations of all portions of proposed structures facing streets, and elevation photographs or perspective drawings showing proposed structures and all such existing structures as are within one hundred (100) feet of the Historic District and are substantially related to it visually or by reason of function, traffic generation, or other characteristics.

c. In its review of the material submitted, the architectural review board shall examine the architectural design and the entire exterior surface, treatment of the structures within the area, and other pertinent factors affecting the appearance and efficient functioning of the Historic District. The board shall not consider any interior arrangement nor shall it make requirements except for the purpose of preventing developments obviously incongruous to the historic aspects of the district. The board shall vote to approve or disapprove an application within sixty (60) days after the application is filed.

***E. Approval of application by architectural review board.*** When the board finds that the proposed building, alteration, repair, demolition, sign, or structure is within the intent of this article, the board shall issue a certificate of appropriateness and report its findings to the department of codes compliance. A certificate of appropriateness is a written statement by the board indicating that the proposed building, use or structure fulfills the requirements of the Hilton Village District.

***F. Disapproval by the board.*** Should the board disapprove the application, it shall submit to the applicant a list of the reasons for disapproval and suggestions for changing the application so as to be acceptable. The applicant may revise and re-submit his application.

***G. Appeal.*** Decisions of the architectural review board may be appealed by any aggrieved party to the board of zoning appeals as provided in Article XXVII.

***H. Failure of the board to act.*** Should the board fail to approve or disapprove an application within sixty (60) days from the date of submission the application shall be considered approved. (Ord. No. 5028-97, § 1)

**Sec. 45-3135. Administrative procedures.**

The city manager shall designate an agent of the city who shall be responsible for administration of this section [article] and shall handle the administrative approval of applications authorized herein. The administrator shall review such application for conformity with specific standards set forth by these section and shall approve the same where appropriate by issuing a certificate of appropriateness for such activity when found in conformity with the guidelines and standards as set forth by the board and shall report in writing to the board the approval of the application and conditions of approval.

(Ord. No. 5028-97, § 1)

**Sec. 45-3136. Administrative approval of routine activities.**

(a) To facilitate the normal functioning of the village, the Board shall identify and set forth in its guidelines those normal and routine exterior repairs and maintenance activities that may be performed without adverse influence or effect to the character of the village or intent of the Historic District regulations.

(b) The identification of these activities shall include specific details as to color, materials, dimensions and other information necessary to permit administrative review and approval of such activities.

(Ord. No. 5028-97, § 1)

**Sec. 45-3137. Prohibition and standards.**

No building permit, sign permit, or other city permit shall be issued nor shall any individual undertake any of the activities listed below until the architectural review board or the designated administrator shall have certified that such activity is in accordance with the provisions of this article:

- (1) *New buildings.* This shall include any new principal or accessory structure.
- (2) *Additions and/or alterations.* This shall include any exterior modifications to existing structures
- (3) *Fences.* This shall include all new fences and any modification to existing fencing resulting in changes in height, material or location but shall exclude normal structural maintenance.

- (4) *Signs.* See Chapter 33.01 of the City Code.
- (5) *Landscaping.* This shall include any landscaping or yard decorations utilizing structural or nonvegetative components when such landscaping components are twelve (12) inches above the average yard elevation and are visible from adjacent property. This board shall not consider or rule upon the appropriateness of any plant material.
- (6) *Painting.* This shall include any colors utilized in the exterior finishes of structures in the village.
- (7) *Off-street parking.* This shall include the construction of new driveway entrances or enlargements of existing entrances as well as the use of front yards for off-street parking. (Ord. No. 5028-97, § 1)

ORDINANCE NO. 4996-97

**AN ORDINANCE TO AMEND AND REORDAIN CHAPTER 38, STREETS AND SIDEWALKS, OF THE CODE OF THE CITY OF NEWPORT NEWS, VIRGINIA, ARTICLE I, IN GENERAL, BY ADDING THERETO A NEW SECTION, NAMELY, SECTION 38-3.2, PERMIT FOR SIDEWALK USE IN HILTON VILLAGE HISTORIC DISTRICT COMMERCIAL AREA.**

**BE IT ORDAINED**, by the Council of the City of Newport News, Virginia:

1. That Chapter 38, Streets and Sidewalks, of the Code of the City of Newport News, Virginia, Article I, In General, be, and the same hereby is amended and reordained by adding thereto a new section, namely, Section 38-3.2, Permit for sidewalk use in Hilton Village Historic District commercial area, as follows:

**CHAPTER 38**

**STREETS AND SIDEWALKS**

**ARTICLE I. IN GENERAL**

Sec. 38-3.2 Permit for sidewalk use in Hilton Village Historic District commercial area.

a. *Permit required.* The director of engineering may issue a permit authorizing the use of the special sidewalk easement area within the Hilton Village Historic District commercial area for certain items of street furniture, which is defined as chairs, tables, awnings, umbrellas, planters, and other outdoor furniture related to the operation of a business that is adjacent to the special sidewalk easement. The special sidewalk easement area is that area for which individual property owners granted sidewalk easements to the City, in addition to the right-of-way for Warwick Boulevard which pre-existed those grants. When issuing a permit the director of engineering shall consider the recommendations of the Hilton Village Architectural Review Board.

b. *Application; Architectural Review Board recommendation.* Persons wishing to place any item(s) of street furniture in the special sidewalk easement area shall make application to the Hilton Village Architectural Review Board prior to requesting a permit from the director of engineering. The Board shall review and recommend to the director of engineering the placement, number, character, color, size, decorative features and construction of such street furniture for use in the special sidewalk easement area identified in subsection a. The Board then shall recommend to the director of engineering whether or not a permit should be issued, and under what conditions, if any.

c. *Guidelines for street furniture.* All items placed in the special sidewalk easement area shall be constructed of materials and have colors appropriate and compatible to the historic district. Tables, benches and chairs shall be made of wood, wrought iron, or other materials determined to be appropriate or compatible by the Hilton Village Architectural Review Board. Awnings and umbrellas shall be made of canvas or other fabric determined to be compatible and appropriate by the Board, and shall have a size and color approved by the Board. Planters shall be made of terra cotta, concrete, wood or other material determined by the Board to be appropriate and compatible to the historic district, and shall have a size and color approved by the Board. The items of street furniture listed in Table 1 have been preapproved by the Board as to color, size and material.

The requirements to make application to the Hilton Village Architectural Review Board or to utilize street furniture previously approved by said Board or materials, designs or colors required by this subsection shall not apply to those applicants for a permit authorizing the use of the special sidewalk easement who desire to utilize street furniture that was in use on or before March 12, 1997. This exception notwithstanding, on and after May 1, 1997, the other requirements of this ordinance must be complied with before the grandfathered street furniture may be used in the special sidewalk easement area. Any street furniture so grandfathered must be maintained in good, safe condition and be serviceable for the purpose for which it was designed; and any street furniture that is removed from use due to wear and tear or its inability to serve the purpose for which it was designed may not be replaced by items of street furniture that do not meet all requirements of this ordinance.

Items placed in the special sidewalk easement area shall be located in the running bond paver sections of sidewalks adjacent to buildings. Items shall not be placed on the herring bone patterned paver fields or the adjoining soldier course borders.

d. *Insurance required.* As a condition precedent to the issuance of a permit, the applicant, the street furniture owner, or the property owner shall file with the City Attorney evidence of general comprehensive liability insurance insuring against claims, demands or actions arising out of or in connection with the existence of the items to be placed within the special sidewalk easement area. The policy of insurance shall require the insurer to defend, indemnify and hold the city harmless from any and all claims for injury or damage, and shall pay all judgments, costs or expenses which the city may incur or suffer by reason of granting a permit in connection with the erection, alteration, maintenance, repair, removal or existence of such items. Such policy of insurance shall provide liability coverage for bodily injury, death and property damage of not less than three hundred thousand dollars (\$300,000.00) combined single limit during any one occurrence for injury to or death of any one or more persons and for property damage or destruction suffered as a result of the existence of such street furniture and shall name the City of Newport News as an additional insured. All such insurance required to be carried by the permit holder shall be with an insurance

company licensed to do business in the Commonwealth of Virginia and approved by the Newport News City Attorney=s Office. Such insurance (i) shall contain an endorsement that such policy shall remain in full force and effect notwithstanding that the insured has released its right of action against any party before the occurrence of a loss; (ii) shall name the City of Newport News as an additional insured party; and (iii) shall provide that the policy shall not be canceled, terminated or materially amended without at least forty-five (45) days= prior written notice [fifteen (15) days if due to nonpayment of premium] to the City of Newport News. Prior to the issuance of the permit, evidence satisfactory to the Newport News City Attorney=s Office of the payment of all premiums for such policy shall be delivered to the Newport News City Attorney=s Office for review. As a condition subsequent to the issuance of the permit, the permit holder shall maintain the required insurance at all times during which the permitted item or items are located in the special sidewalk easement area.

2. That this ordinance shall be in effect from and after May 1, 1997.

Adopted by City Council on March 11, 1997

TABLE 1

Wrought Iron Furniture Arm Benches		
Manufacturer	Brand Name	Model Number
Victor Stanley	Classics	4ft. C - 10
		6ft. C - 10
		8ft. C - 10
Victor Stanley	Classics	4ft. CL - 40
		6ft. CL - 40
		8ft. CL - 40
Columbia Cascade	TimberForm	#2118-6
		#2814-AT
King River Casting	Victorian	*VBS 48"
		*VBP 60"

\*Black Only

Backless Benches		
Victor Stanley	Classics	4ft. C-7
		6ft. C - 7
		8ft. C - 7
Columbia Cascade	TimberForm	#2123-6
Loveseats		
King River Casting	Victorian	VBLS 40"

Backed Chairs		
Landscape Forms	Traverse	*TR3001 BS-20
	Firenze	*FZ3001-BS-21
Smith & Hawken	Bistro	M4159 Green
		M4358 Black
Hauser	Erin Mills	#1465

\*Red Chairs Not Allowed.

<b>Wrought Iron Furniture</b>		
<b>Backed Chairs With Armrest</b>		
<b>Manufacturer</b>	<b>Brand Name</b>	<b>Model Number</b>
Landscape Forms	Traverse	*TR3001-BA-20
Tables		
Victor Stanley	Classics	4ft. C-9
		6ft. C-9
		8ft. C-9
Smith & Hawken	Bristro	26in. M4158 Green
		26in. M4495 Black
		38in. M392324 Black

<b>Wood Furniture</b>		
<b>Arm Benches</b>		
Country Casual	Windermere	4ft. #4501
		5ft. #4502
		6ft. #4503
		8ft. #4504
Country Casual	Windsor	4ft. #4401
		5ft. #4402
		6ft. #4403
Country Casual	Mendip	4ft. #4601
		5ft. #4602
		6ft. #4603
		8ft. #4604
Country Casual	Clifton	4ft. #4201
		5ft. #4202
Kingsley Bate	Evanston	66in. TR66
DSF	Evenlode	4ft. #420
		5ft. #421
		6ft. #422
DSF	Gloster	5ft. #409
		6ft. #410

8ft. #412

\*Red Chairs Not Allowed

<b>Wood Furniture</b>		
<b>Manufacturer</b>	<b>Brand Name</b>	<b>Model Number</b>
Smith & Hawken	Gloucester	5ft. M496919
		6ft. M496927
		8ft. M496935
DSF	Mata Hari	5ft. #290
Landscape Forms	Cumberland	CU3005-BS-72
Landscape Forms	Prairie	PR30005-BS-72

<b>Backless Benches</b>		
Country Casual	Banbury	4ft. #4310
		5ft. #4311
		6ft. #4312
DSF	Brunel	6ft. #428
Kingsley Bate	Evanston	ET 50
		ET 60

<b>Loveseats</b>		
Country Casual	Brittany	4 1/2 ft. #6302
		5 1/2 ft. #6303

<b>Armchair</b>		
Country Casual	Amberley Carver	#4844
	Windermere	#4505
	Windsor	#4405
	Brittany	#6305
	Devon Carver	#4826
	Clifton	#4205

DSF	Evenlode	#425
Smith & Hawken	Giverny	M5281
	Inverness	M5932
Kingsley Bate	Dunbarton	DN25
		MDN25

<b>Wood Furniture Sidechairs</b>		
<b>Manufacturer</b>	<b>Brand Name</b>	<b>Model Number</b>
Country Casual	Amberley	#4845
	Devon	#4825
Smith & Hawken	Inverness	M5932

<b>Tables</b>		
Country Casual	Arundel	3ft. sq. #4855
	Chelmsford	43in. #4882
		52in. #4880
		59in. #4881
	Kendall	3ft. #4860
	Kingston	3ft. #4854
	Minton	6ft. #4886
Smith & Hawken	Hawthorn	M5913
DSF	Thornbury	3ft. #661
		4ft. #662
		5ft. #662
		3ft. sq. #663 Oak
		6ft. sq. #680 Oak
Smith & Hawken	Sussex	4ft. M5666
		6ft. M498006

<b>Umbrellas</b>		
<b>Manufacturer</b>	<b>Brand Name</b>	<b>Model Number</b>
Country Casual	Octagonal	8 ft. Oyster #4890OY
		8ft. Green #4890GR
		10ft. Oyster #4895OY
		10ft. Green #4895GR
Landscape Forms	Bistro	6ft. UM7002-BR-72
	Morgan	8ft. UM7002-MG-90
	Market Place	6ft. octag. UM7008-MK-72
		8ft. octag. UM7008-MK-96
		11ft. octag. UM7008-MK-132
		12 1/2ft. UM7008-MK-150
		7ft. sq. UM7001-MK-84
		9 1/2ft. sq. UM7001-MK-114
		11ft. sq. UM7001-MK-132

\*Umbrellas may be one solid dark color or two (2) dark colors only.

<b>TRASH RECEPTACLES</b>		
Victor Stanley	Ironsites	S-20
		S-35
		S-42
Victor Stanley	Economy	ES-135
		ES-142
		ES-235
		ES-242
		ES-335
		ES-342

Photographs of the above furniture items are maintained in the Department of Planning, 2400 Washington Avenue, Newport News, Virginia 23607